

RECEIPT FOR PREVIOUS DOCUMENTS

Listing Agent: Helene Barkin

Property Address: 1461 9th Street, Berkeley

Purchaser and/or Purchasers' Agent acknowledge timely receipt of the following documents prior to writing and presenting an offer on the above referenced property.

PREVIOUS REPORTS

1. Charles Mayer Pest Inspection Report dated 8/14/01, 7 pages
2. Big Red Construction Fax Cover dated 5/31/05, 1 page
3. Big Red Construction Invoice dated 6/22/05, 1 page
4. City of Berkeley Receipts dated 3/21/05 and 2/17/05, 1 page
5. Check Register dated 6/22/05, 2 pages
6. East Bay Paint & Decorating Center Invoice dated 5/21/05, 1 page
7. East Bay Paint & Decorating Center Invoice dated 5/17/05, 1 page
8. Walnut Creek Lighting Company Invoice dated 5/4/05, 1 page
9. Walnut Creek Lighting Company Invoice dated 6/13/05, 1 page
10. David Nichols Floor Plans & Framing Details dated 12/7/07, 4 pages
11. Receptacle Informational Pages, Kitchen & Bathroom Lighting, 4 pages
12. City of Berkeley Permit Service Center Revisions dated 12/28/01, 4 pages
13. Request for Extension of Time for Permit dated 8/29/05, 1 page
14. City of Berkeley Letter for Extension for Permit Application dated 9/23/05, 1 page
15. City of Berkeley Correction Notice dated 4/5/02, 1 page
16. Bay Area Cabinet Supply Invoice & Drawings dated 12/12/01, 5 pages
17. Expo Special Services Customer Agreement Summaries dated 12/2/01, 7 pages
18. Harry Clark Plumbing & Heating Proposal dated 11/29/01, 2 pages
19. Harry Clark Plumbing & Heating Receipt dated 12/26, 1 page

The undersigned acknowledge timely receipt of the above referenced documents.

Buyer _____ Date _____

Buyer _____ Date _____

Selling Agent _____ Date _____


Seller _____ Date _____

Seller _____ Date _____

Listing Agent _____ Date _____

WOOD DESTROYING INSECTS AND ORGANISMS INSPECTION REPORT

This is an inspection report only - not a Notice of Completion
ADDRESS OF PROPERTY INSPECTED

BUYING NO. 101	STREET, CITY, STATE, ZIP 9th Street, Berkeley, CA, 94710	COUNTY CODE 01	DATE OF INSPECTION 08/14/01	NUMBER OF PAGES 8
CHARLES J. MAYER P.O. Box 1026 Concord, CA 94522-1026 (510) 428-1915 (925) 685-7374 (925) 685-3722 FAX (800) 861-1881		 Affix stamp here on Board copy only A LICENSED PEST CONTROL OPERATOR IS AN EXPERT IN HIS/HER FIELD. ANY QUESTIONS RELATIVE TO THIS REPORT SHOULD BE REFERRED TO HIM/HER.		
REGISTRATION # PR 2980	REPORT # 24637	STAMP #	ESCROW #	

ORDERED BY: BETTER HOMES REALTY - 5942 MacArthur Boulevard, Ste. B - Oakland CA 94605
 Varnell Owens

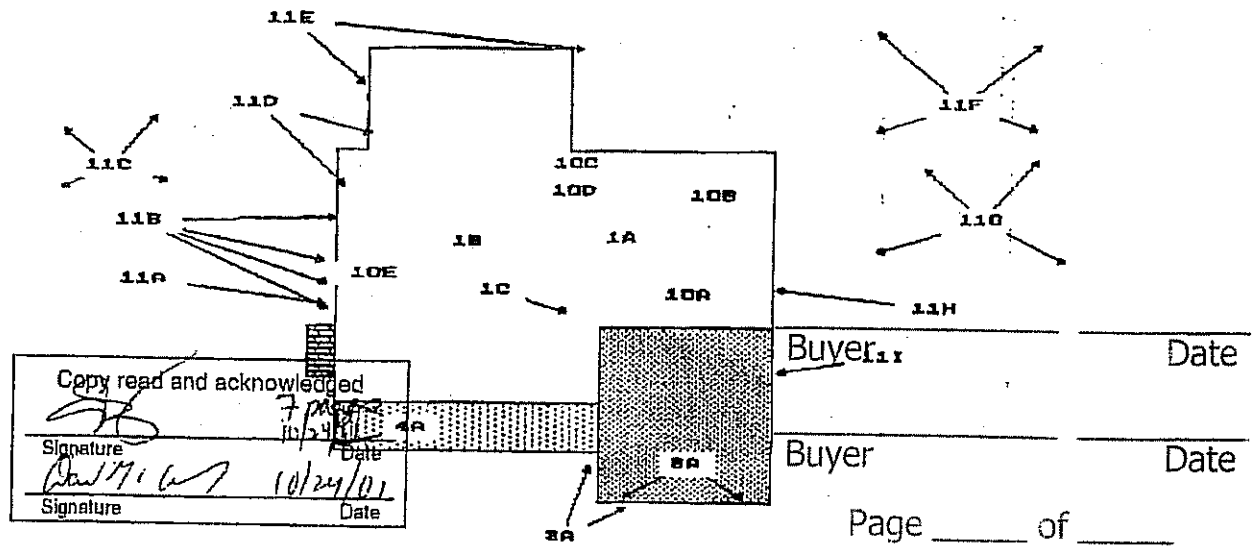
REPORT SENT TO: BETTER HOMES REALTY - 5942 MacArthur Boulevard, Ste. B - Oakland CA 94605
 Varnell Owens

PROPERTY OWNER: Helen Alexander/Dia Hendricks - 1481 9th Street - Berkeley CA 94710

PARTY IN INTEREST: _____

ORIGINAL REPORT <input checked="" type="checkbox"/>	LIMITED REPORT <input type="checkbox"/>	SUPPLEMENTAL REPORT <input type="checkbox"/>	REINSPECTION REPORT <input type="checkbox"/>	Original Stamp #	Date
GENERAL DESCRIPTION: <u>Single story wood frame with wood exterior.</u>				1. FOUNDATION	2. WALLS
INSPECTION TAG POSTED: <u>Garage</u>				3. FLOORS	4. ROOF
OTHER INSPECTION TAGS: _____				5. EXTERIOR	6. INTERIOR
1. SUBSTRUCTURE AREA	See Section 1 Below	See 1A-1D	X	X	
2. BATH SHOWER	None				
3. FOUNDATIONS	See Sec 3 Below	See 3A			X
4. PORCHES - STEPS	See Sec 4 Below	See 4A			X
5. VENTILATION	Appears Adequate			X	
6. ABUTMENTS	None				
7. ATTIC SPACES	Not Inspected	See Notes	X		
8. GARAGES	See Section 8 Below	See 8A			X
9. DECKS - PATIOS	None			X	
10. OTHER - INTERIOR	See Sec 10 Below	See 10A-10E		X	X
11. OTHER - EXTERIOR	See Section 11 Below	See 11A-11I		X	X

DIAGRAM AND EXPLANATION OF FINDINGS (This report is limited to structure or structures shown on diagram)



NOT TO SCALE FRONT

Inspected by Charles J. Mayer License No. OPR 8418 Signature [Signature]

NOTE: Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with services performed may be directed to the Structural Pest Control Board at (818) 283-2833, or (800) 727-8188. You are notified to check copies of all reports.

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	08/14/2001	24637
STAMP NO.	DATE OF INSPECTION	CO. REPORT NO.

NOTICE: Reports on this structure prepared by various registered companies should list the same findings (i.e. termite infestations, termite damage, fungus damage, etc.). However, recommendations to correct these findings may vary from company to company. You have a right to seek a second opinion from another company.

GENERAL INFORMATION: This report, as itemized and diagrammed below, only covers the visible and accessible areas of the structure at this time. Interiors of hollow walls, inaccessible attic area, spaces between a floor and ceiling, spaces between a deck with a soffit below, stall showers over finished ceilings with no evidence of water stain on finish ceiling below, buttress areas, behind or below installed appliances (appliances are not moved during the course of inspection), areas behind furniture or drapes, floors beneath coverings, storage and locked areas, or any area where inspection is possible only through tearing out or defacing of finished work are considered inaccessible and were not inspected. Such an inspection would be almost prohibitive in cost and impractical unless otherwise noted herein. We do not guarantee the work of others. We will reinspect the work performed by others (a building permit is required, and must be on the site at the time of reinspection) if performed within four months of the date of the original inspection, at a cost not to exceed the original inspection fee charged. Plumbing, grouting, caulking, re-setting of toilets, linoleum work, shower and glass repairs are guaranteed for 30 days from date of completion. Chemical treating and structural repairs are guaranteed for one (1) year.

GENERAL INFORMATION:

This Company does not guarantee the watertight integrity of the roof coating or gutter systems. If parties of interest to this property have questions concerning the roof coating or gutter systems, it is RECOMMENDED THAT they engage the services of a licensed Roofing contractor to determine the true condition of the roof and gutters to the mutual satisfaction of all parties concerned.

This Structural Pest Control Report is in accordance with the State of California Structural Pest Control Act report requirements. Reference: Title 16, Chapter 19, Sections 1990, 1991, 1992. The intent of this inspection is to indicate the absence of presence of wood destroying pest or organisms or conditions conducive thereto and to make recommendations for corrective measures for the conditions indicated. An itemized price quotation for repairs is attached. Note: Interested parties are to clearly understand that this Report is limited to the Structural Pest Control Act report requirements and is not to be construed as an all-encompassing general building code compliance inspection. Should interested parties require information about such areas as roof coverings, gutters/downspouts, electrical, electrical fixtures, plumbing, plumbing fixtures, operable conditions of doors and windows, broken/worn portions of the building, weather proofing of exteriors, weather stripping/caulking, earth settling, soil drainage, and other areas not included in this report, a person specializes in these areas is to be consulted for advice/recommendations. This report does not include indications and/or recommendations about any area other than report requirements of the State of California Structural Pest Control Act.

During the course of repairs, additional Structural Pest Control related conditions may be uncovered. If CHARLES J. MAYER is performing the repairs, we assume responsibility for such additional conditions. If repairs are performed by others, they must assume liability for such additional repairs. Additional responsibility does not apply where further inspection is recommended.

CHARLES J. MAYER will make every effort to guard against damage to landscape during the process of completing the repairs outlined above. However, due to the nature of these repairs, damage to the adjacent landscape may occur. This Company makes no warranties with regard to possible damage to landscape. Parties of interest may wish to relocate adjacent landscape prior to commencement of repairs to guard against possible damage.

CHARLES J. MAYER -- License No. PR 2980

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In the event CHARLES J. MAVER is authorized to perform a portion of the work recommended above, a minimum charge of \$250.00 will be made, or the cost of the authorized work, whichever is greater.

This Company does not make plumbing repairs. If in the course of completing the repairs outlined above, leaks or other defective plumbing conditions are discovered, it will be the Owner's responsibility to contact a licensed Plumbing contractor to make all necessary plumbing repairs required.

The inspection of this property included a ground level inspection of the roof areas for visible evidence of active infestation or infection only. Our inspectors are not equipped to carry 40 foot ladders, therefore all inspection of roofline wooden members is done from ground level only. Should interested parties request, and damage releases are provided, roof level inspections will be provided for infestation or infection only, not for the life or condition of any roof surfaces.

We at CHARLES J. MAVER appreciate your patronage. If there is any way in which we may be of further service to you, please do not hesitate to call. Once again, we thank you.

THIS IS A SEPARATED REPORT WHICH IS DEFINED AS SECTION 1 AND SECTION 2 CONDITIONS EVIDENT ON THE DATE OF INSPECTION. SECTION 1 CONTAINS ITEMS WHERE THERE IS EVIDENCE OF ACTIVE INFESTATION, INFECTION, OR CONDITIONS THAT HAVE RESULTED IN OR FROM INFESTATION OR INFECTION. SECTION 2 ITEMS ARE CONDITIONS DEEMED LIKELY TO LEAD TO INFESTATION OR INFECTION, BUT WHERE NO VISIBLE EVIDENCE OF SUCH WAS FOUND. FURTHER INSPECTION ITEMS ARE DEFINED AS RECOMMENDATION TO INSPECT AREA(S) WHICH, DURING THE ORIGINAL INSPECTION, DID NOT ALLOW THE INSPECTOR ACCESS TO COMPLETE HIS INSPECTION AND CANNOT BE DEFINED AS SECTION 1 OR SECTION 2.

SUBSTRUCTURE AREAS:

Item 1A: There is scattered cellulose debris noted in the subarea. RECOMMEND TO remove all cellulose debris of a size that can be raked from the subarea soil.

***** This is a Section 2 Item *****

Item 1B: There are water stains noted to lower base framing and/or subfloor in the areas noted on the diagram. There is no evidence of any infection caused by the condition at this time. RECOMMEND THAT owners maintain all exterior surfaces sealed and in a watertight condition to prevent damage from occurring in the future.

***** Information Item *****

Item 1C: There is earth-to-wood contact in the subarea caused by soil buildup against the lower wood framing and/or post. RECOMMEND TO excavate and/or grade the soil back to provide adequate clearance. Treat the lower wood with TIM-PCR.

***** This is a Section 2 Item *****

Item 1D: The area indicated on the diagram is inaccessible as there is no entrance to the area. RECOMMEND TO provide permanent access to the area. Further inspection will be performed after the access is provided and a supplemental report issued to cover any additional findings.

***** Unknown Further Inspection Recommended *****

FOUNDATIONS :

Item 3A: There is a marginal to faulty grade level in the area indicated on the diagram with no evidence of infestation or infection caused by the condition. RECOMMEND THAT owners maintain grade levels with soil sloping away from the structure and have the area inspected on a regular basis to prevent future infestation or infection from occurring. RECOMMEND TO treat all lower base framing in this area with TIM-PCR to prevent infestation or infection from occurring.

***** This is a Section 2 Item *****

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PORCHES - STEPS:

Item 4A: There is fungus damage to wood support members under the concrete over wood frame porch deck. Others in the past have cut out and partially replaced wood supports. RECOMMEND TO cut out and replace as necessary all structurally damaged or fungus damaged wood members, replacing them with pressure-treated material where possible. Treat all new and remaining wood with TIM-BOR. Owner is to seal and keep sealed the deck surface now and in the future to prevent a recurrence of the damage.

***** This is a Section 1 Item *****

ATTIC SPACES :

The attic area was not inspected as damage may occur to the finished ceilings as a result of the inspection and may result in injury to our Inspector. If a written release is provided, attic inspection will be performed.

GARAGES:

Item 8A: There is surface fungus on the garage door caused by moisture entry from the exterior. RECOMMEND TO treat all infected wood in these areas with TIM-BOR. Owner to seal and make the exterior water tight to prevent damage from occurring in the future.

***** This is a Section 1 Item *****

OTHER - INTERIORS:

Item 10A: The linoleum floor covering in the kitchen was noted to be worn but servicable with no evidence of any damage to wood members below caused by the condition. RECOMMEND THAT owners maintain these floors dry and well sealed to prevent damage from occurring in the future.

***** This is a Section 2 Item *****

Item 10B: There are water stains noted at window returns caused by condensation and/or leaks through the windows. RECOMMEND THAT owners maintain all returns sealed and painted and all exterior surfaces sealed and in a waterproof condition to eliminate all excess moisture conditions from existing.

***** Information Item *****

Item 10C: The plastic or fiberglass wall covering in the tub-shower area is in need of sealing. RECOMMEND THAT owner keep the area sealed to prevent moisture entry from occurring in the future.

***** This is a Section 2 Item *****

Item 10D: The bathroom floor has failed with evidence of fungus infection noted. RECOMMEND TO remove the floor covering down to the subfloor. Remove and replace all fungus damaged wood members as necessary. Treat all wood in the area with TIM-BOR. Install new underlayment, new medium grade and neutral colored linoleum floor covering. Any areas disturbed will be patched and left ready for painting or refinishing by others.

NOTE: The existing floor will be removed in accordance with the Resilient Floor Covering Institute and/or Armstrong-approved procedures for removal of floor coverings which may contain asbestos.

***** This is a Section 1 Item *****

Item 10E: Water stains were noted to the hardwood floors in various areas of the structure. RECOMMEND THAT owner maintain these floors dry and well sealed to prevent damage from occurring in the future. Contact hardwood floor expert about repair of these floors.

***** This is a Section 2 Item *****

OTHER - EXTERIORS:

Item 11A: There is fungus infection noted in trim members in the area indicated on the diagram. RECOMMEND TO remove and replace and/or cut off and repair all fungus damaged wood members.

***** This is a Section 1 Item *****

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OTHER - EXTERIORS:

Item 11B: There is fungus damage to the siding in the area indicated on the diagram. RECOMMEND TO remove and replace the damaged wood with new wood. New siding will match the existing as close as possible but may not be a match. All new wood will be treated with TIM-BOR and left ready for staining and/or painting by others.

***** This is a Section 1 Item *****

Item 11C: There is evidence of defective wood gutters around the structure. RECOMMEND THAT owner contact gutter expert about repair and/or replacement of these defective items to eliminate the excess moisture condition from existing.

***** This is a Section 2 Item *****

Item 11D: There is fungus damage to the siding and trim in the area indicated on the diagram. RECOMMEND TO remove and replace the damaged wood with new wood. New siding will match the existing as close as possible but may not be a match. All new wood will be treated with TIM-BOR and left ready for staining and/or painting by others.

***** This is a Section 1 Item *****

Item 11E: There is fungus damage to the trim and siding in the area indicated on the diagram. RECOMMEND TO remove and replace the damaged wood with new wood. New siding will match the existing as close as possible but may not be a match. All new wood will be treated with TIM-BOR and left ready for staining and/or painting by others.

***** This is a Section 1 Item *****

Item 11F: There is fungus infection and/or moss on the leading edge of the wood shingle under the composition shingle roofing. RECOMMEND TO cutback the leading edge that is damaged, treat the edge with TIM-BOR, and install a metal drip edge to eliminate the condition.

***** This is a Section 1 Item *****

Item 11G: The exterior surfaces of this structure are in need of maintenance and repair to include caulking, nailing, glazing, and painting. RECOMMEND THAT owners maintain all exterior surfaces watertight to prevent damage from occurring in the future.

***** Information Item *****

Item 11H: The door in the area indicated is fungus damaged. RECOMMEND TO remove and replace with new prime painted door, using existing hardware.

***** This is a Section 1 Item *****

Item 11I: The door in the area indicated is delaminated. RECOMMEND THAT owners maintain this door well painted and sealed to prevent fungus infection from occurring.

***** This is a Section 2 Item *****

"The exterior surface of the roof will not be inspected. If you want the water tightness of the roof determined, you should contact a roofing contractor who is licensed by the Contractor's State License board."

There are items in this report that require a building permit and inspection from your local building department.

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OCCUPANTS CHEMICAL NOTICE

CHARLES J. MAYER will use pesticide chemical (s) specified below for the control of wood destroying pests or organisms in locations identified in the Structural Pest Control report as indicated above.

(1) The pest (s) to be controlled:

SUBTERRANEAN TERMITES FUNGUS or DRY ROT
 BEETLES DRY-WOOD TERMITES OTHER

(2) The pesticide(s) proposed to be used and the active ingredient(s).

- A. JECTA: Active ingredients: Disodium Octaborate Tetrahydrate
- B. COPPER GREENE: Active ingredients: Copper Naphthenate
- C. BORA-CARE: Active ingredients: Disodium Octaborate Tetrahydrate
- D. DRAGNET: Active ingredients: Permethrin
- E. ZINC NAPHTHENATE: Active ingredients: Zinc Naphtenate
- F. CHLOROPICRIN: Active ingredients: Chloropicrin
- G. METHYL BROMIDE: Active ingredients: Methyl Bromide
- H. VIKANE: Active ingredients: Sulfoxyl Floride
- I. TIM-BOR: Active ingredients: Disodium Octaborate Tetrahydrate
- J. IMPEL: Active ingredients: Anhydrous Disodium Octaborate
- K. PREMISE 75: Active ingredients: Imidacloprid
- L. FIRST LINE BAIT: Active ingredients: Ethyl Perfluorooctane Sulfonamide

(3) *State Law requires that you be given the following information: CAUTION-PESTICIDES ARE TOXIC CHEMICALS. Structural Pest Control Operators are licensed and regulated by the Structural Pest Control Board, and apply pesticides which are registered and approved for use by the California Department of Food and Agriculture and the United States Environmental Protection Agency. Registration is granted when the State finds that based on existing scientific evidence there are no appreciable risks if proper use conditions are followed or that the risks are outweighed by the benefits. The degree of risk depends upon the degree of exposure, so exposure should be minimized.

"If within 24 hours following application you experience symptoms similar to common seasonal illness comparable to the flu, contact your physician or poison control center and your pest operator immediately. (This statement shall be modified to include any other symptoms of over exposure which are not typical of influenza.)"

For further information, contact any of the following:

- Charles J. Mayer..... (925) 685-7374
- Contra Costa County Health Department (925) 370-5064
- Alameda County Health Department (510) 522-0889
- Contra Costa County Agriculture Commissioner (925) 646-5250
- Alameda County Agriculture Commissioner (510) 670-5232
- Contra Costa Poison Control Center (800) 876-4766
- Structural Pest Control
1430 Howe Avenue, Sacramento, CA 95825 (916) 924-2291

Persons with respiratory or allergic conditions, or others who may be concerned about their health relative to this chemical treatment, should contact their physician concerning occupancy during and after chemical treatment prior to signing this NOTICE.

NO CHEMICAL APPLICATION WILL BE PERFORMED UNTIL SUCH TIME THAT THIS NOTICE IS RETURNED. HAVING READ THE INSTRUCTIONS, I, THE UNDERSIGNED, WILL ACCEPT RESPONSIBILITY FOR ALL THE AFOREMENTIONED.

OWNER/OCCUPANT	DATE	OWNER/OCCUPANT	DATE
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CHARLES J. MAYER -- License No. PR 2980



WORK AUTHORIZATION CONTRACT

Address of Property: 1461 9th Street Berkeley, CA. 94710
Inspection Date: 08/14/2001
Termite Report #: 24637
State Stamp #:
Title Co. & Escrow #:

SECTION 1		SECTION 2		UNKNOWN	FURTHER	INSP.
4A:	\$ 895.00	1A:	\$ 25.00	1D:	\$	350.00
8A:	125.00	1C:	25.00			
10D:	795.00	3A:	150.00			
11A:	125.00	10A:	ref. owner			
11B:	795.00	10C:	ref. owner			
11D:	795.00	10E:	ref. owner			
11E:	3975.00	11C:	ref. other			
11F:	750.00	11I:	ref. owner			
11H:	\$ 125.00					

We Authorize the Following Section 1 Items to be Performed:
4A, 8A, 10D, 11A, 11B, 11D, 11E, 11F, 11H

We Authorize the Following Section 2 Items to be Performed:
1A, 1C, 3A, 10A, 10C, 10E, 11C, 11I

We Authorize the Following Items for Unknown Further Inspection:
1D

Proposed Cost Section 1:	\$ 8380.00
Proposed Cost Section 2:	\$ 200.00
Proposed Cost Unknown F.I.:	\$ 350.00
Inspection Fee:	
Bld Permit:	\$ 295.00
Smoke Detectors:	\$ 80.00
Total:	\$ 9305.00

CUSTOMER INFORMATION

The total amount of this contract is due and payable upon completion of the work listed above unless otherwise specified. If the work specified in the contract is being done at this time due to owners wishes, ANY WORK PERFORMED AGAINST AN EXISTING TITLE ESCROW WILL BE THE FINANCIAL RESPONSIBILITY OF THE PARTY ORDERING THE INSPECTION REPORT, IN THE EVENT OF A CANCELLED TITLE ESCROW.

Where further inspection is recommended, or if it is desired that attic spaces, window sash, and exterior trim, or inaccessible areas be inspected, that shall be performed only by request, and charges based on time and material involved. All work performed by this COMPANY is guaranteed for a period of one year from the date of completion. Operations are covered under the Structural Pest Control Operator's license and appropriate City licenses and permits. All employees are covered by Workman's Compensation insurance and all operators by public liability insurance. EXCEPTIONS: Plumbing work and lineoleum work undertaken by this firm is guaranteed for (30) days.

Prices quoted are subject to acceptance within (30) days. If additional work beyond that specified in this report, is required by the City or County Building Inspector, such work will not be performed under this agreement. A separate quotation will be made, if desired. CHARLES J. MAYER is hereby authorized to proceed with the above mentioned work.

Funds for work shall be held in an active escrow and dispersed upon issuance of a Standard Notice of Work Completed and Not Completed or upon demand to the undersigned. If Buyers are to approve the work completed on an open escrow, they are to do so before close of escrow and all funds are for said work are to be released at the close of escrow. Real Estate agents and/or attorneys-in-fact are also to approve said work before the close of escrow. Closed escrows will require buyer approval prior to issuance of our Standard Notice of Work Completed and Not Completed with their release forwarded to Lender involved. If there is no title company holding funds, prior agreement for payment must be made with CHARLES J. MAYER before work can be performed by this COMPANY. Upon filing of the Standard Notice of Work Completed and Not Completed by this COMPANY the full amount of this contract shall be due and payable. A service charge of one and one-half percent per month or eighteen percent per annum will be applied to all past due accounts. All work completed is due upon receipt of invoice. Signing of this form authorizes the title company holding funds to release funds for the amount on the Standard Notice of Work Completed and/or the invoice. Releasing of these funds does not relieve CHARLES J. MAYER of any liability he may have for the negligent performance of the work he is authorized to proceed with. THIS AGREEMENT SUPERCEDES ANY OTHER INSTRUCTIONS OR POLICIES THE TITLE COMPANY MAY HAVE. In the event of any legal action or litigation involving this work authorization, which constitutes a contractual agreement, the prevailing party shall be entitled to recover all reasonable attorney fees and costs actually incurred.

NOTICE TO OWNERS: Under the California Mechanics Lien Law any structural pest control company which contracts to do work for you, any contractor, subcontractor, laborer, supplier or other person who helps to improve your property, but is not paid for his/her work or supplies, has a right to enforce a claim against your property. This means that after a court hearing, your property could be sold by a court officer and the proceeds of the sale used to satisfy the indebtedness. This can happen even if you have paid your structural pest control company in full if the subcontractor, laborers or suppliers remain unpaid.

To preserve the right to file a claim or lien against your property, certain claimants such as subcontractors or material suppliers are required to provide you with a document entitled "Preliminary Notice". Prime contractors and laborers for wages do not have to provide this notice. A Preliminary Notice is not a lien against your property. Its purpose is to notify you of persons who may have a right to file a lien against your property if they are not paid.

I Have Read This Contract And The Termite Report It Refers To.
SIGNED WORK AUTHORIZATION CONTRACT MUST BE RECEIVED BEFORE WORK WILL BE SCHEDULED.
I have read and understand the terms of this work authorization contract and hereby agree to all terms thereof.

APPROVED AND READ BY: _____

DATE _____

ACCEPTED FOR:
CHARLES J. MAYER

DATE _____

BIG RED CONSTRUCTION
1040 Lindsey Court
Lafayette, CA 94549

(925) 210-1953 (office)
(925) 210-1971 (fax)

FAX COVER SHEET

Date: 5/31/05
TO: Greg Nichols
FROM: Jocelyn Newell
RE: Re-cap of project
No. of Pgs. (including cover page) 5

Comments: Total Contract Amount: \$ 77,561.00
T&M charges to date: \$ 15,916.59
Permit Fees: 41,679.73
W.C. Lighting: \$ 1,215.65
Total Amount: \$ 96,372.97
Total Less Payments: < \$ 76,400.00 >
Total due to date: \$ 19,972.97

Let me know if you need anything else.
Thank you!
Jocelyn

PRODUCT 105

ALIGN TYPE DIRECTLY ON THIS LINE

WHEN USING A TYPEWRITER SET TAB STOPS AS SHOWN ON THIS STUB

Fold at (s) to fit 771 DU-O-VUE® Er vskope

BIG RED CONSTRUCTION

Lic. #B616341
1040 Lindsey Court
Lafayette, CA 94549

INVOICE

6502

(925) 210-1953
FAX (925) 210-1971

DATE 6-22-05	ORDER NO. Contract and T&M
SHIP TO Same	

TO Aldrinna and Greg Nichols
 1461 - 9th Street
 Berkeley, CA 94710

QUANTITY	DESCRIPTION	UNIT PRICE	TOTAL
	Revised contract amount		\$77,561 00
	Time and material charges		\$23,572 57
	Permit fees		\$1,679 73
	East Bay Paint Center		\$265 75
	Walnut Creek Lighting		\$1,215 65
	Total amount		\$104,294 70
	Walnut Creek Lighting		(\$418 93)
	Less payments		(\$86,400 00)
	Total due and payable		\$17,475 77

PAGE 1/8 * RCVD AT 6/22/2005 11:52:51 AM [Pacific Daylight Time] * SVR:J3 * DNIS:187 * CSID:9252101971 * DURATION (mm-ss):02-34

066817888888888888888888: \$1205.88

City of Berkeley

*** CUSTOMER RECEIPT ***

Oper: REGISTER Type: OC Drawer: 1
Date: 3/21/05 01 Receipt no: 111607

Description	Quantity	Amount
BP BUILDING PERMITS SYSTEM	1.00	\$1205.88
Trans number:		1340014

Total tendered \$1205.88
Total payment \$1205.88

Trans date: 3/21/05 Time: 10:14:24

*** THANK YOU FOR YOUR PAYMENT ***

066817888888888888888888: \$473.85

City of Berkeley

*** CUSTOMER RECEIPT ***

Oper: REGISTER Type: OC Drawer: 1
Date: 2/17/05 01 Receipt no: 94177

Description	Quantity	Amount
BP BUILDING PERMITS SYSTEM	1.00	\$473.85
Trans number:		1320041
PLAN CHECK FEE		

Total tendered \$473.85
Total payment \$473.85

Trans date: 2/17/05 Time: 8:49:00

*** THANK YOU FOR YOUR PAYMENT ***

Check Register

9th Street T&M
6/22/2005

Date	Num	Transaction	Payment	C	Deposit	Balance
3/17/2005		Opening Balance cat: (9th Street T&M)		R		(.00)
3/17/2005		Phone	65.77			-65.77
3/18/2005		PIEDMONT LUMBER	178.19			-243.96
3/18/2005		TRUITT & WHITE	24.78			-268.74
3/19/2005		TRUITT & WHITE	2.24			-270.98
3/21/2005		TRUITT & WHITE	30.19			-301.17
3/23/2005		TRUITT & WHITE	19.69			-320.86
3/23/2005		TRUITT & WHITE	10.74			-331.60
3/24/2005		TRUITT & WHITE	36.04			-367.64
3/24/2005		TRUITT & WHITE	84.25			-451.89
3/25/2005		Payroll	1,043.00			-1,494.89
3/25/2005		TRUITT & WHITE	20.42			-1,515.31
3/26/2005		TRUITT & WHITE	158.71			-1,674.02
3/31/2005		Economy Lumber	60.00			-1,734.02
4/2/2005		TRUITT & WHITE	55.31			-1,789.33
4/4/2005		TRUITT & WHITE	8.80			-1,798.23
4/4/2005		TRUITT & WHITE	35.82			-1,834.05
4/8/2005		Payroll	754.00			-2,588.05
4/13/2005		PIEDMONT LUMBER	50.38			-2,638.43
4/15/2005		HOME DEPOT	13.58			-2,652.01
4/15/2005		PIEDMONT LUMBER	30.02			-2,682.03
4/20/2005		Gill's Electric	1,400.00			-4,082.03
4/21/2005		Economy Lumber	39.20			-4,121.23
4/21/2005		PIEDMONT LUMBER	25.23			-4,146.46
4/22/2005		Payroll	1,120.00			-5,266.46
4/22/2005		PIEDMONT LUMBER	163.41			-5,429.87
4/25/2005		Economy Lumber	622.13			-6,052.00
4/28/2005		PIEDMONT LUMBER	42.95			-6,094.95
4/29/2005		TRUITT & White	35.32			-6,130.27
4/29/2005		Payroll memo: eaves	702.00			-6,832.27
4/29/2005		Payroll memo: <u>drywall</u>	820.00			-7,652.27
5/2/2005		Economy Lumber	235.41			-7,887.68
5/2/2005		TRUITT & White	18.45			-7,906.13
5/4/2005		Dumps	78.91			-7,985.04
5/5/2005		Economy Lumber	298.14			-8,283.18
5/6/2005		Payroll memo: <u>porch</u>	825.00			-9,108.18
5/6/2005		Payroll memo: <u>shetrock</u>	786.00			-9,894.18
5/6/2005		TRUITT & WHITE	17.89			-9,912.07

Check Register

9th Street T&M
6/22/2005

Page 2

Date	Num	Transaction	Payment	C	Deposit	Balance
5/11/2005		ALLIED BUILDING memo: roof	117.10	?		-10,027.17
5/12/2005		National Construction Rentals	49.44			-10,076.61
5/13/2005		Payroll	375.00			-10,451.61
5/18/2005		Economy Lumber memo: requested by owner	165.90			-10,617.51
5/20/2005		Payroll memo: concrete	552.00			-11,169.51
5/26/2005		Central Concrete	317.44			-11,486.95
5/27/2005		Miscellaneous	20.00			-11,506.95
5/27/2005		Payroll memo: steps	1,052.00			-12,558.95
5/27/2005		Payroll memo: paint	150.00			-12,708.95
6/6/2005		PIEDMONT LUMBER	469.48			-13,178.43
6/6/2005		PIEDMONT LUMBER	288.79			-13,467.22
6/10/2005		Payroll	750.00			-14,217.22
6/10/2005		Dumps	28.94			-14,246.16
6/13/2005		Gill's Electric	3,200.00			-17,446.16
6/18/2005		Dumps	14.00			-17,460.16
6/22/2005		35% OP	6,111.41			-23,571.57

EAST BAY PAINT & DECORATING CENTER
990 San Pablo Avenue
Albany, CA 94706

PAGE NO 1

PHONE: (510) 524-6582

THE BEST SERVICE WITH THE BEST PRODUCTS!
STORE HOURS: M-F 7-5:30 PM & SAT 8-5 PM

CUSTOMER NO.	JOB NO.	PURCHASE ORDER NO.	REFERENCE	TERMS	CLERK	DATE	TIME
7643		NICHOLIS	PO - W. NICHOLIS	DUE 15TH	AO	5/21/05	5:11

BIG RED CONSTRUCTION
KATHY KOVILL
1848 LINDSEY CT.
LAFAYETTE CA 94549
(925) 218-1953

S
H
I
P
T
O

SUPP: AO ADAM O'NEILL
TAX : TAX CALIFORNIA

TERMS 5

DOC# 117542

INVOICE #

SHIPPED	ORDERED	UM	SKU	DESCRIPTION	UNIT PRICE	UNITS	PRICE/PEL	EXTENSION
3		GA	82152881	REGAL WALL SATIN MEDIUM BSE 2143-48+2148-48	29.25	3	22.52 /GA	67.56
1		GA	82151881	REGAL WALL SATIN PASTEL BSE 2149-58	29.29	1	22.55 /GA	22.55

** AMOUNT CHARGED TO STORE ACCOUNT ** 97.99
 TAXABLE 98.11
 NON-TAXABLE 8.88
 SUBTOTAL 98.11
 TAX AMOUNT 7.88
 TOTAL AMOUNT 97.99

[Signature]
 RECEIVED BY Adriana NICHOLS (NICHOLAS HERNANDEZ)

Reimbursable

EAST BAY PRINT & DECORATING CENTER
 998 San Pablo Avenue
 Albany, CA 94706

PAGE NO 1

PHONE: (510) 524-6582

THE BEST SERVICE WITH THE BEST PRODUCTS!
 STORE HOURS: M-F 7-5:30 PM & SAT 8-5 PM

CUSTOMER NO.	JOB NO.	PURCHASE ORDER NO.	REFERENCE	TERMS	CLERK	DATE	TIME
7643		NICHLIS	PO # NICHLIS	DU E 15TH	AD	5/17/05	8:11

BIG RED CONSTRUCTION
 KATHY KOVELL
 1048 LINDSEY CT.
 LAFAYETTE CA 94549
 (925) 210-1953

S
H
I
P
T
O


BOCH 117341

 * INVOICE *

 TERM 5
 SUP: AD ADAM O'NEILL
 TAX : TAX CALIFORNIA

SHIPPED	ORDERED	QM	SKU	DESCRIPTION	PRICE	UNITS	PRICE/PER	EXTENSION
2	GA		00230001	FS 100% ACR PRIMER	25.99	2	21.31 /GA	42.62
1	GA		02151001	REGAL WALL SATIN PASTEL BSE	28.59	1	28.59 /GA	28.59
1	GA		03331001	ACR/AGLD LAT S G EN PASTEL BSE	37.33	1	28.79 /GA	28.79
1	GA		02151001	REGAL WALL SATIN PASTEL BSE	28.59	1	28.59 /GA	28.59
	EA		5111503602	3M LONG MASK BLUE TAPE 1.5X60YDS	7.89	2	5.92 /EA	11.84
	EA		7149763249	MOUSTER SUP/FAB COVER 9X1/2"	4.39	4	3.87 /EA	12.28
1	EA		2308698105	B/M COLOR SAMPLE, 290	3.49	1	2.97 /EA	2.97
1	EA		2308698207	B/M COLOR SAMPLE, 2143-40	3.49	1	2.97 /EA	2.97
1	EA		2308698220	B/M COLOR SAMPLE, HC-111	3.49	1	2.97 /EA	2.97
5	EA		1405800022	Z-PRO PLASTIC PAINT TRAY LINER	.99	5	.74 /EA	3.70
2	EA		2807675020	QUALI-TECH DROP CLOTH 9X12 2MIL	3.29	2	2.47 /EA	4.94

** AMOUNT CHARGED TO STORE ACCOUNT ** 167.76
 TAXABLE 154.26
 NON-TAXABLE 0.00
 SUBTOTAL 154.26

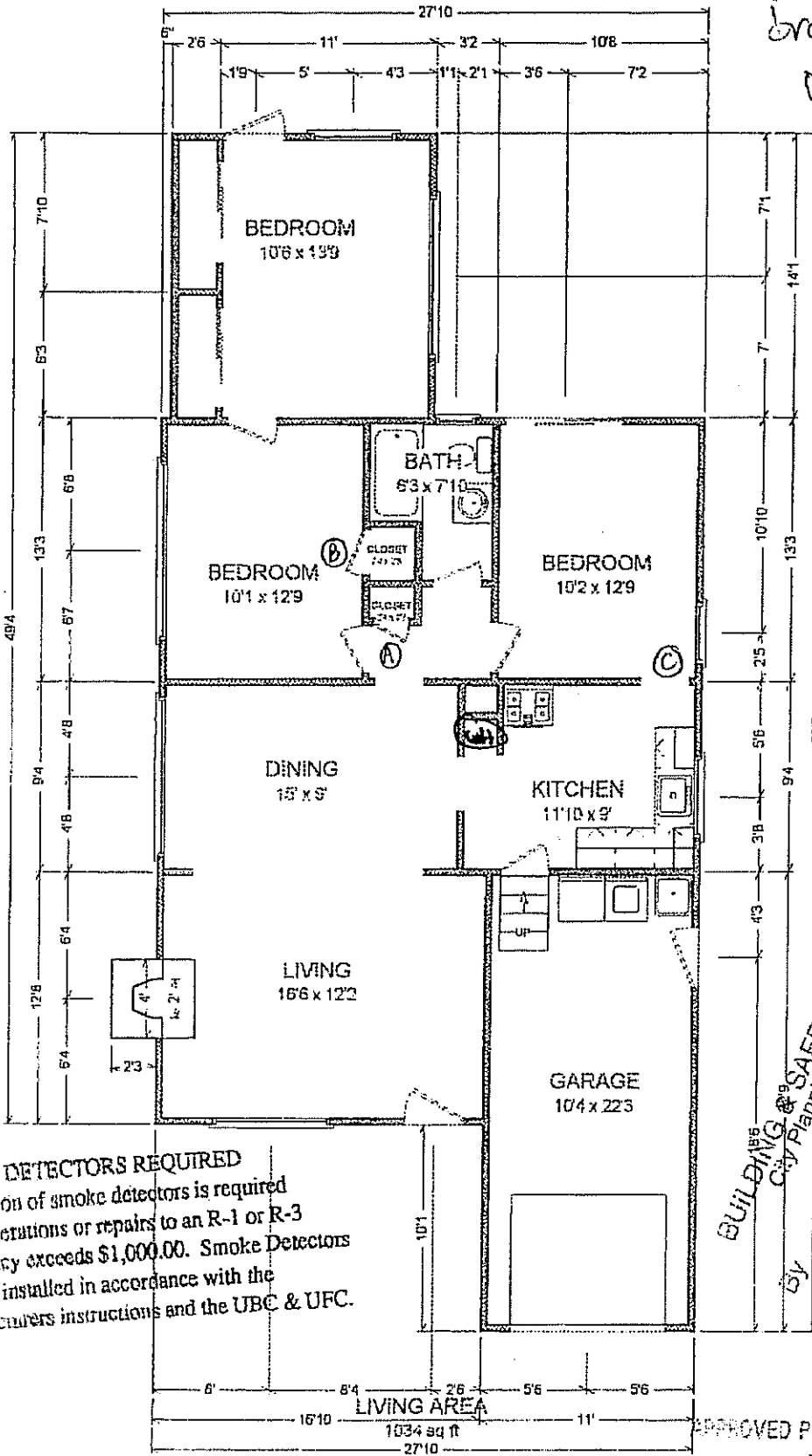
 ALDRIMA
 RECEIVED BY NICHOLS

(NICOLAS HERNANDEZ)

TAX AMOUNT 13.58
 TOTAL AMOUNT 167.76

JOB SITE

Original Floor Plan



Drawn By:
 DAVID NICKOLS
 1461 9th ST, BERK
 BERKELEY CA
 94710
 510-527-6018

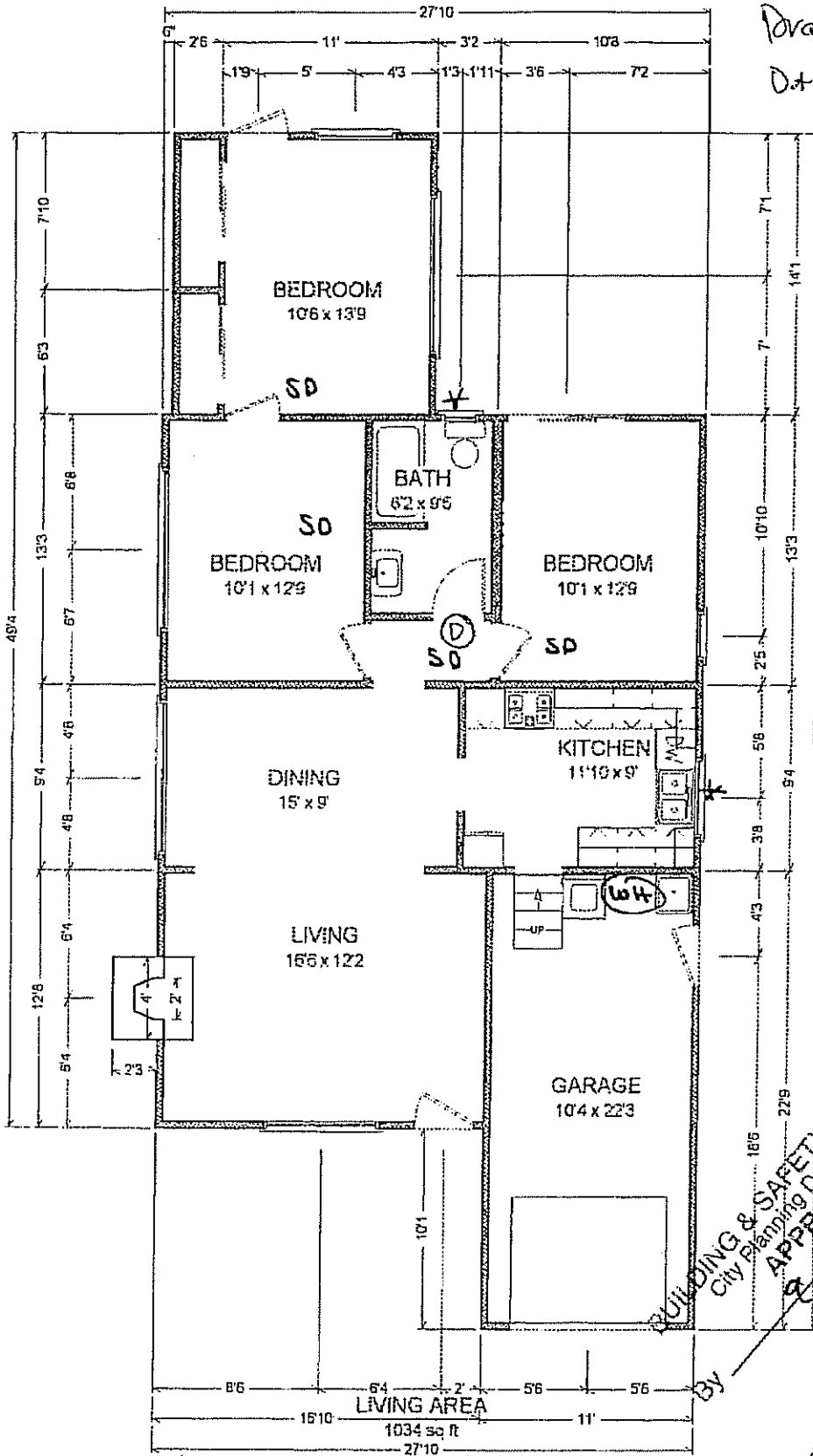
See attachments
 for
 electrical
 requirements

BUILDING & SAFETY DIVISION
 City Planning Department
 APPROVED
 DEC 07 2001

SMOKE DETECTORS REQUIRED
 Installation of smoke detectors is required when alterations or repairs to an R-1 or R-3 occupancy exceeds \$1,000.00. Smoke Detectors shall be installed in accordance with the manufacturers instructions and the UBC & UFC.

This set of plans and specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the City of Berkeley, Building & Safety Division. The changing of this plan and specifications SHALL NOT be said to permit or to be an approval to the violation of any provision of the City Charter or Code.

APPROVED PLANS
 12-7-01
 SIGNATURE
 Vincent Perry



Drawn By:

DAVID McTAVIS

1461 9th ST

Berkeley CA

94710

510-527-6018

* New windows
Same size, same
location

BUILDING & SAFETY DIVISION
City Planning Department
APPROVED
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This set of plans and specifications shall be the basis for the construction of the building and it is understood that the contractor shall be responsible for all construction and shall be held liable for any errors or omissions. The stamping of this plan and specifications SHALL NOT be taken as approval by the Building & Safety Division of any other part of the City Ordinance or rules.

FRAMING DETAIL

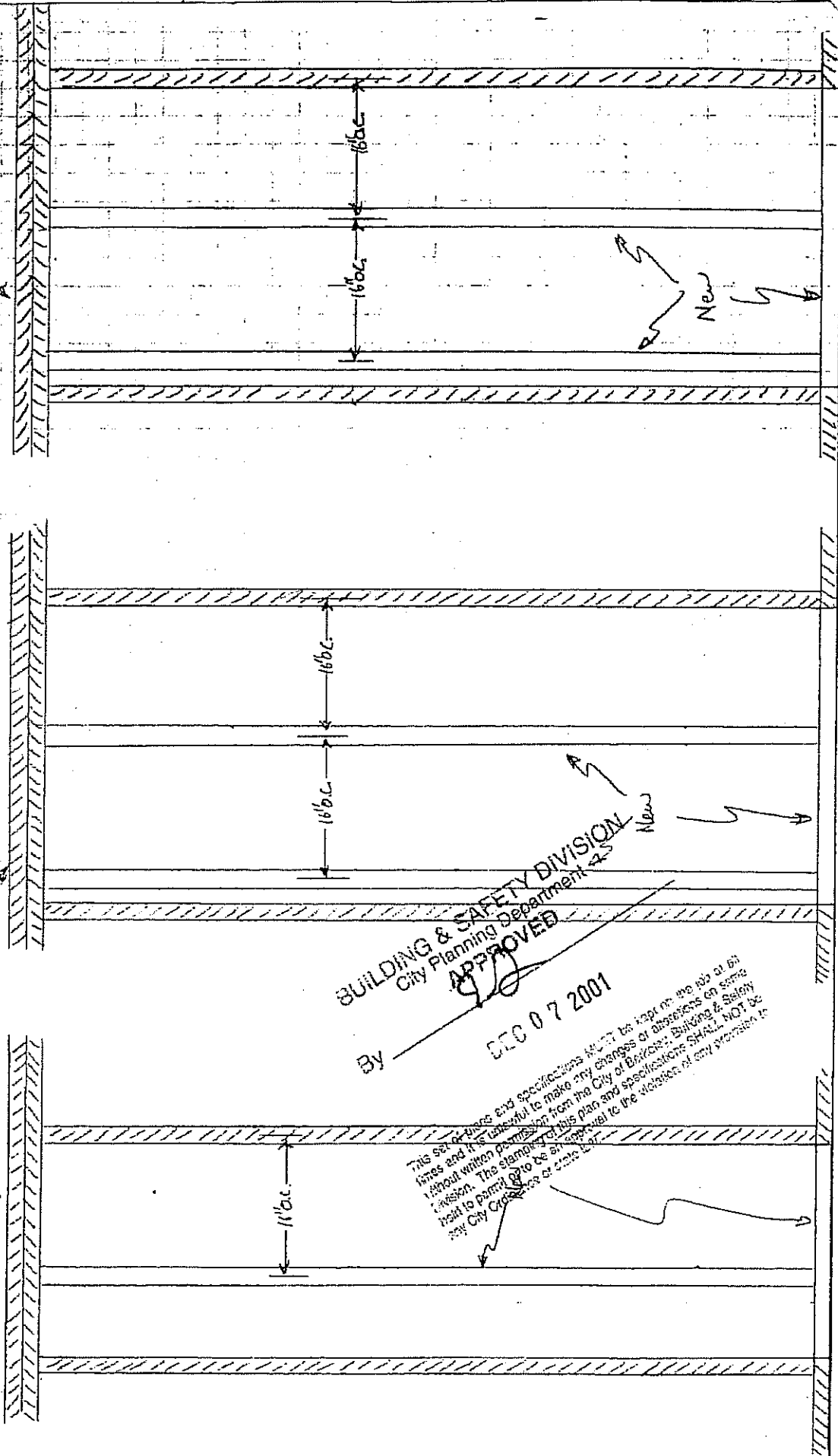
3/4" = 1'

(A) HALL CLOSET
VIEWED FROM
HALL

Existing

(B) BEDROOM CLOSET
VIEWED FROM NORTH
BEDROOM

(C) KITCHEN - BEDROOM DOORWAY
EXISTING

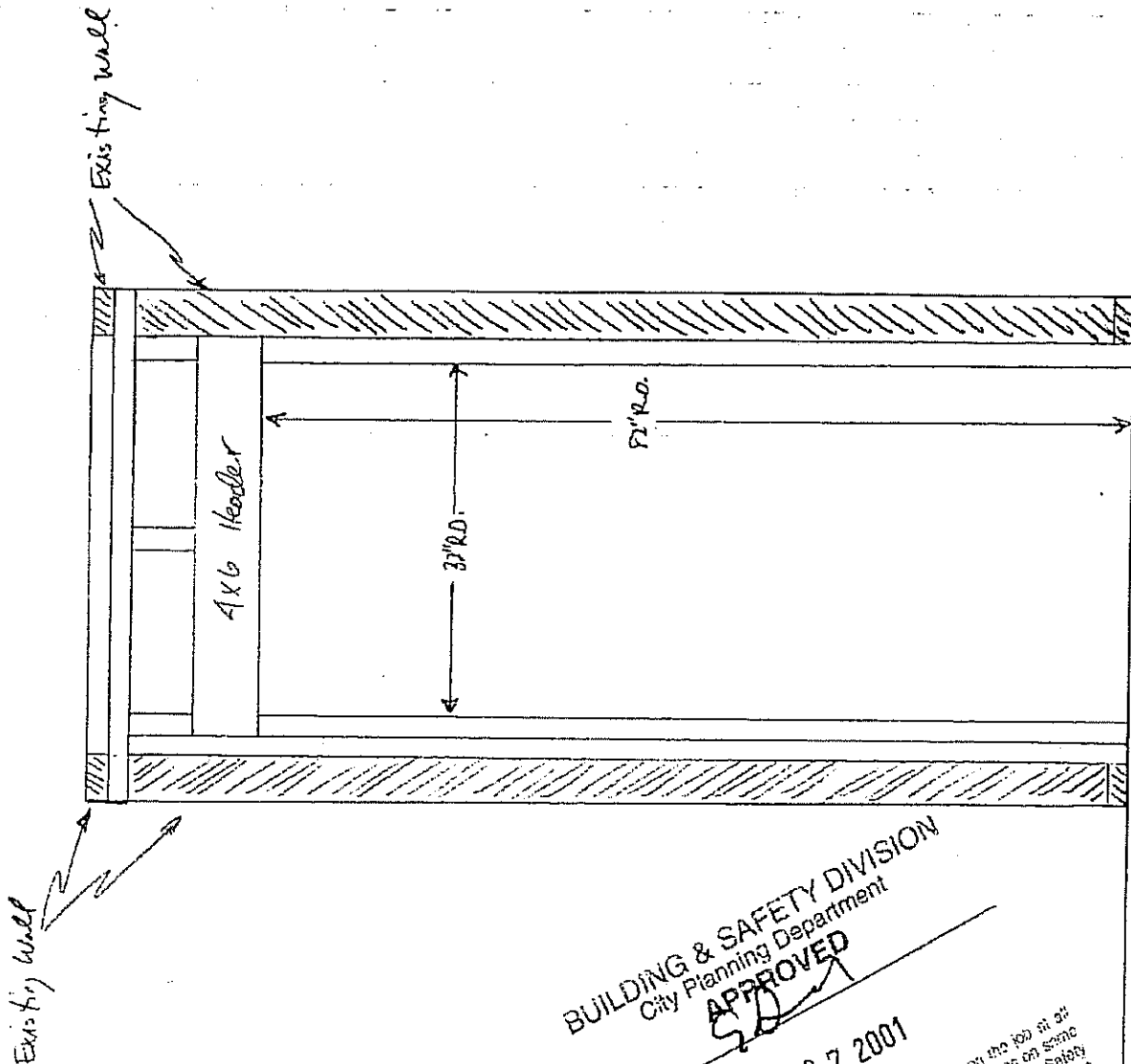


BUILDING & SAFETY DIVISION
City Planning Department
APPROVED

By [Signature]
DEC 07 2001

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No. 937 811E
Engineer's Computation Pad



BUILDING & SAFETY DIVISION
City Planning Department
APPROVED

BY [Signature]
DEC 07 2001

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3/4" = 1'

RECEPTACLE OUTLET LOCATION

210-52(c)(1)

- A receptacle outlet shall be provided at each countertop space 12 in. or wider in the kitchen and dining room areas. No point along the wall may be more than 2 ft. from a receptacle outlet. Each countertop shall be treated separately in applying the number and spacing of outlets. Countertops divided by a sink, a range, a cooktop, an oven, or a refrigerator shall have receptacle outlets installed on each side where there is 12 in. or more of countertop space along the wall.

The procedure for laying out the location of these outlets is to measure 2 ft. and then at 4 ft. intervals until the last receptacle outlet is no further than 2 ft. in any direction from an outlet. Receptacle outlets will be accurately provided for each countertop space by applying these measurements. Any receptacle outlets rendered inaccessible by the position of installed appliances such as a refrigerator shall not be considered as one of the required outlets.

ISLAND COUNTERTOPS

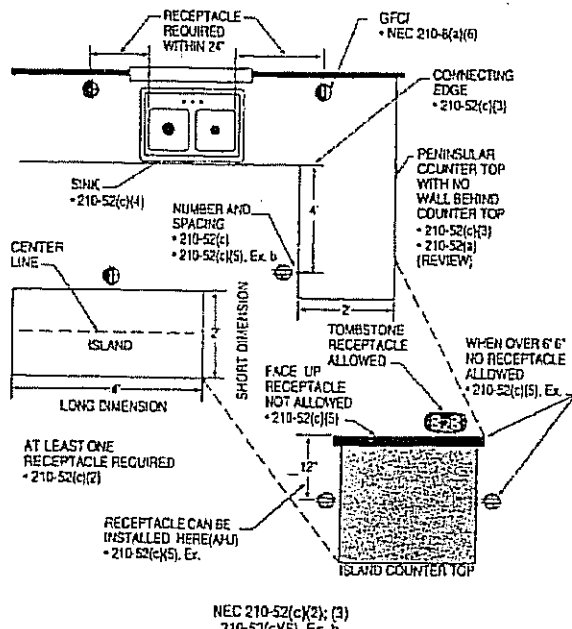
210-52(c)(2)

An island countertop stands alone with no wall behind or beside it. Island countertops with a short dimension of 12 in. or greater or a long dimension of 24 in. or greater must have at least one receptacle outlet.

PENINSULAR COUNTERTOPS

210-52(c)(3)

Receptacle outlets shall be installed at each peninsular countertop. A peninsular is a countertop without a wall on either side. Receptacle outlets shall be installed for each peninsular with a long dimension of 24 in. or greater and a short dimension of 12 in. or greater. A peninsular countertop is measured from the connecting edge and receptacle outlets installed accordingly. The receptacle outlets shall be installed above or within 12 in. below the countertop or a tombstone type receptacle may be installed on the countertop.



RECEPTACLE OUTLET LOCATION

210-52(c)(5)

Receptacle outlets are required to be installed at 18 in. or less above the countertop space or with special permission at 12 in. or less below the countertop space. Receptacles can be installed below the countertop surface when it is not practical to mount them above the countertop per 210-52(c)(5), Ex. a and b. (See Figure 1-16)

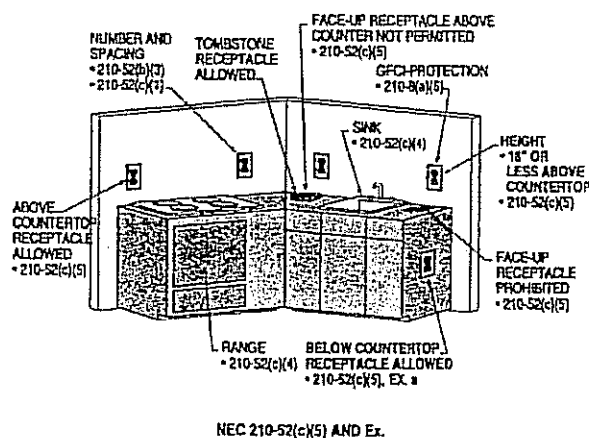
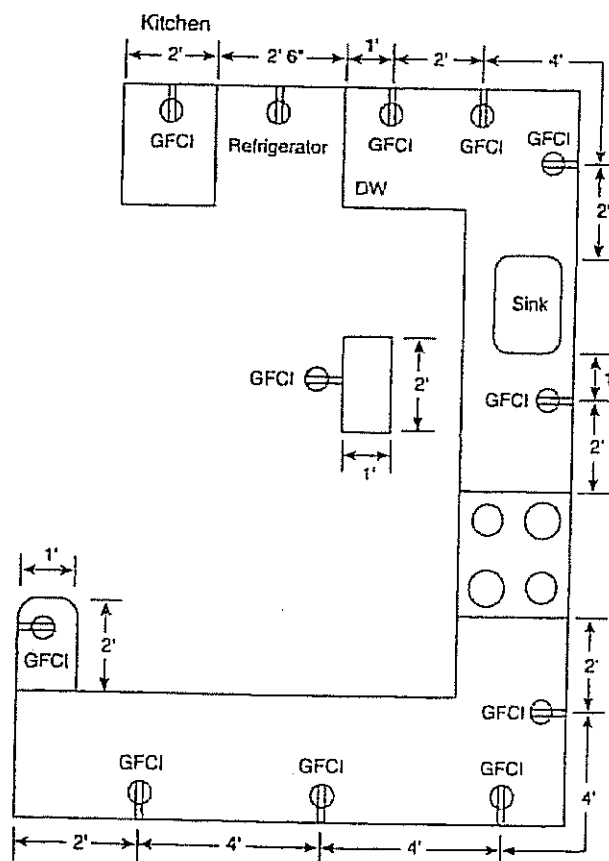


Figure 1-16. Installation requirements for receptacle outlets installed above or below countertop spaces.



Trade Tip See 210-52(b)(2) which lists the requirements for installing the small appliance circuits for countertops in the kitchen and dining room areas. Refer to 210-8(a)(6) for countertop receptacle outlets requiring GFCI-protection.

GFCI-PROTECTION OF RECEPTACLES

210-8(a), 305-6

A GFCI circuit breaker or receptacle detects any imbalance current in the circuit such as current leaking to ground through the body of a person using an electric hand tool. This imbalance of current trips open the GFCI unit at about 5 milliamp plus or minus 1 milliamp. The action of the GFCI prevents any harm to the person using the receptacle under adverse conditions of use.

It only takes a relatively small amount of current flowing through the body to be fatal. Electrocution can occur at 380 milliamp. GFCI-protection protects people from such hazards while working with electrical handtools.



GFCI-protection of receptacles are required in bathrooms, garages, outdoors, basements, crawlspaces, kitchen sinks, wet bars, and boathouses.

On separate dedicated 20 Amp circuit

PROTECTION IN BATHROOMS

210-8(a)(1)

All 15 or 20 amp, 125 volt receptacles shall be provided with GFCI-protection, if located in the bathroom. (For definitions of bathrooms see Article 100). The receptacles shall be supplied by a circuit protected by a GFCI circuit breaker, be a GFCI receptacle, or be served by a fed through GFCI-protected receptacle.

The NEC requires at least one receptacle outlet to be installed adjacent to the sink per 210-52(d) and 210-8(a)(1) and also requires this receptacle and all others, if present, to be GFCI-protected.



If a 20 amp, 120 volt laundry receptacle is installed in the bathroom, it is required to be GFCI-protected per 210-8(a)(1). There are no exceptions to the rule as there are for garages per 210-8(a)(2), Ex. 2 and basements per 210-8(a)(5) Ex. 2.

LAUNDRY CIRCUIT

210-52(f)

All laundry receptacle outlets shall be supplied by a 20 amp circuit utilizing a No. 12-2 romex cable with ground. The cable is either nonmetallic sheathed cable (romex) or armored cable (BX).



A conduit system may be used with individual conductors pulled in after the conduit is installed. This is usually a local code requirement.

At least one receptacle outlet shall be installed for the laundry area. All laundry equipment is required to be located within 6 ft. of the receptacle outlet per 210-50(c). Sometimes a 20 amp duplex receptacle is used to cord-and-plug connect a washing machine and a gas dryer. No other outlets shall be supplied by this 20 amp, two-wire small appliance circuit. Where the laundry area is located in the garage or basement, GFCI-protection is not required for the receptacle outlets per 210-8(a)(2), Ex. 2 and 210-8(a)(5) Ex. 2. Section 210-23(a) requires the 20 amp circuit to be loaded to only 80% of its rating, under certain conditions of use.

For example: A 20 amp small appliance laundry circuit (20 A OCPD x 80% = 16 A) should be loaded no more than 16 amps if used for long periods of time such as three hours or longer. (See Figure 1-20)

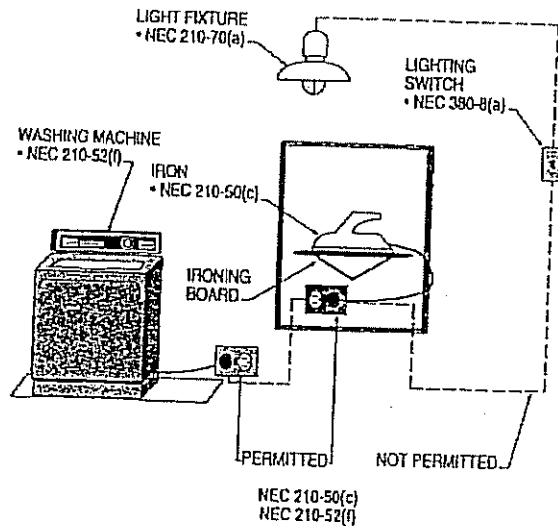
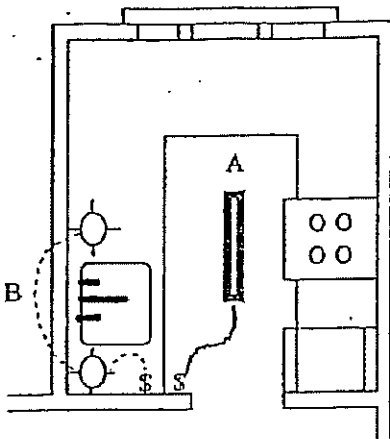


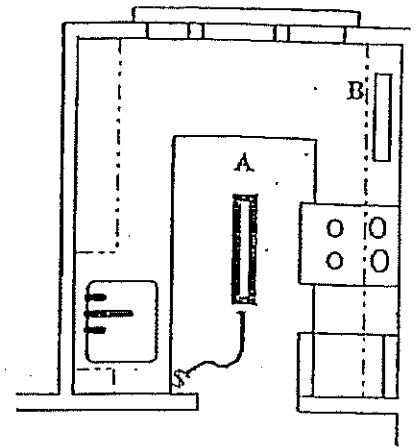
Figure 1-20. The 20 amp laundry circuit may be used only to serve laundry equipment. The laundry circuit may be routed to the garage, basement, utility room, or wherever the laundry room is located.

The lighting in the kitchen, either general or the only lighting, must:

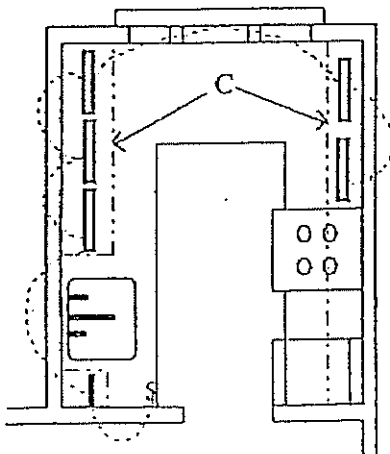
- Be fluorescent or another product that has at least 40 lumens/watt (see Table 2-2).
- Provide a uniform pattern of lighting, such as a fixture in the center of the kitchen or around the perimeter (not a fixture in the corner).
- Provide a light level sufficient for performing basic kitchen tasks such as preparing meals and washing dishes.
- Be controlled on a readily accessible switch at an entrance to the kitchen (not in a cupboard or beside the kitchen sink).
- Be switched separately from incandescent lighting and on a control panel at an entrance to the kitchen.
- Not contain medium-base incandescent lamp sockets. This prevents the occupant from replacing the efficient light source with an incandescent bulb.



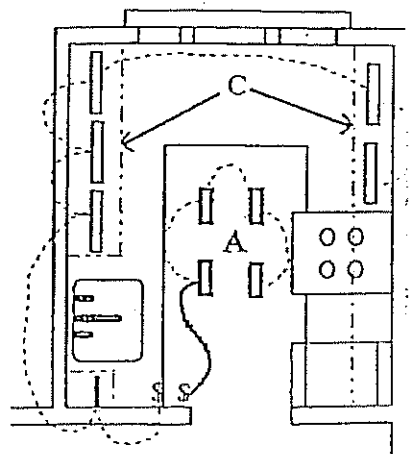
"A" must be fluorescent



"A" must be fluorescent
"B" alone is not general lighting



All of "C" must be fluorescent



All of "A" or "C" must be fluorescent.
If "C" then "C" must be the most accessible switch.

If there is only one light in the kitchen, it is general lighting.

Additional luminaires for decorative effect do not need to meet these requirements

Incandescent lighting fixtures recessed into insulated ceilings must be approved for zero-clearance insulation cover (IC-rated) in compliance with Section 150(k)4 (see below).

Table 2-2. Typical Efficacy of Luminaries

Light Source	Type	Rated Lamp Watts	Typical Efficacy Lumens/Watt ¹
Incandescent	Standard	40 - 100	14 - 16
Incandescent	Halogen	40 - 250	20 ²
Incandescent	Halogen IR	See footnote ³	Up to 30
Fluorescent (Lamp/Ballast Systems) ⁴	Full-Size, 4' Long	32 - 40	69 - 91
	U-Shaped T-8 Bipin	16 - 31	78 - 90
	Compact Fluorescent	5 - 9	26 - 38
	Compact Fluorescent	13 +	42 - 58
Metal Halide	Metal Halide	32 - 175	50 - 90
High Pressure Sodium	White High Pressure Sodium	35 - 100	36 - 55

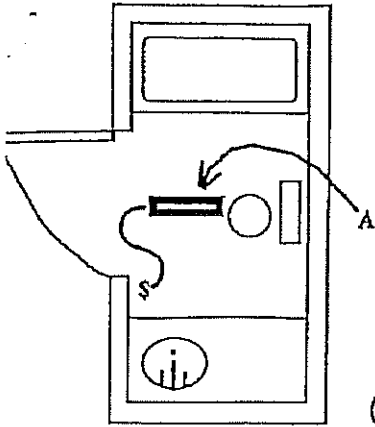
¹ Includes power consumed by ballasts where applicable.

² Halogen capsule incandescent lamps may be the most efficient light source for highlighting applications. Most halogen lamps are designed to produce a beam of directed light. Manufacturer's data typically list the "candlepower" intensity of that beam, rather than lumens (lumens measure total light output in all directions).

³ A new technology using infrared reflecting films on the halogen capsules has increased output up to 30 lumens/watt for some high wattage lamps.

⁴ Efficacy of fluorescent lighting varies depending on lamp and ballast types.

Bathroom Lighting



"A" must be fluorescent

Each room with a shower or bathtub (no requirement in a half-bath) must have at least one luminaire with lamps with an efficacy of at least 40 lumens/watt, which may be fluorescent or another efficient technology (see Table 2-2 above).

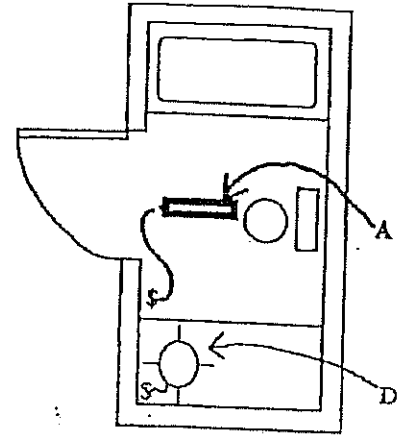
When there is more than one luminaire in the room, the high-efficiency luminaire (greater than or equal to 40 lumens/watt) must be switched at an entrance to the room.

As an alternative, both of the following are required:

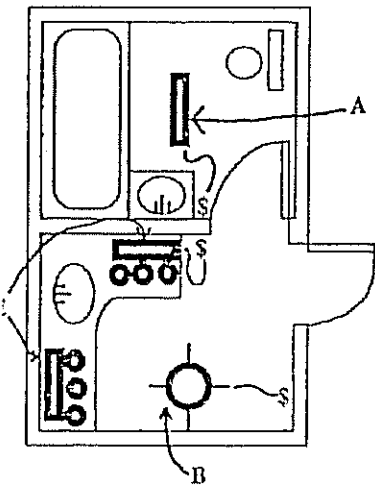
1. A luminaire with 40 lumens/watt lamps must be installed in a laundry room, utility room or garage; and
2. All permanently mounted outside lighting must either be at least 40 lumens/watt or equipped with a motion sensor.

When using this alternative for two or more rooms with showers or bathtubs, compliance with item 1. above is sufficient for the second or third rooms since the outside lighting is already in compliance with item 2 above.

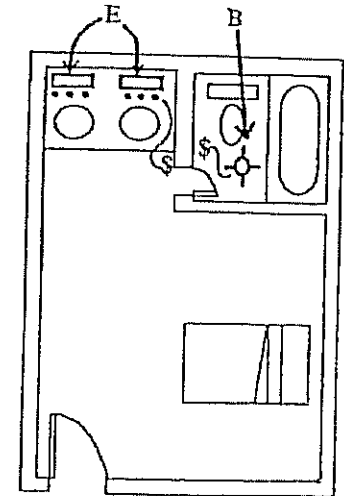
Luminaires installed to meet the 40 lumens/watt requirements cannot contain medium base incandescent lamp sockets, and must be on separate switches from incandescent lighting.



"A" must be fluorescent;
"D" can be incandescent



"A" must be fluorescent



"B" must be fluorescent

Recessed Lighting

All incandescent lighting fixtures recessed into insulated ceilings must be approved for zero-clearance insulation cover (IC-rated) in compliance with Section 150(k)4.

Although this requirement does not apply to fluorescent fixtures, recessed lighting fixtures left un-insulated significantly increase the heat loss through the roof/ceiling area reducing the effectiveness of the insulation.

Heat lamps are not required to be IC-rated.



City of Berkeley Permit Service Center
 Planning and Development Department
 2120 Milvia Street
 Berkeley, CA 94704

REVISIONS TO APPROVED PLANS

Date: 12/28/01

Address of Project 1461 9th St Permit # 01-4948

Applicant:

Name DAVID NICHOLS

Address 1461 9th St

City, Zip Berkeley CA 94710

Phone # 510.527.6018

JOB SITE

Description of changes to approved plans Additional Valuation \$ 50

1. widen doorway from kitchen to dining room
2. replace stairs from kitchen to garage

Buyer _____ Date _____

Increase in Valuation \$ 50

Buyer _____ Date _____

Page 1 of 4

Status of Project

Project is not under construction but is scheduled for start of construction on _____

Project is under construction

NOTE: Additional fees may be due if revisions represent additional work or are sufficiently substantive to require additional plan review time. The plans examiner will determine the amount of any required additional fees.

2. replace stairs

Drawn By:
David Nichols
1461 9th ST
Berkeley, CA 94710
510-527-6018

No. 937 811E
Engineer's Computation Pad

STAEDTLER®

1" = 1'
Scale

handrail required
on one side - See
attached

11" 11" 11" 11"

inswinging door
required
Sub floor

5 7/8"
5 7/16"
5 7/16"
5 7/16"
5 7/16"

Riv
Joint
29 9/16"

Concrete Slab & Foundation
Wall
Mud Sill

Planning and Development
BUILDING AND SAFETY DIVISION

APPROVED

By _____

DEC 31 2001

REVISIONS

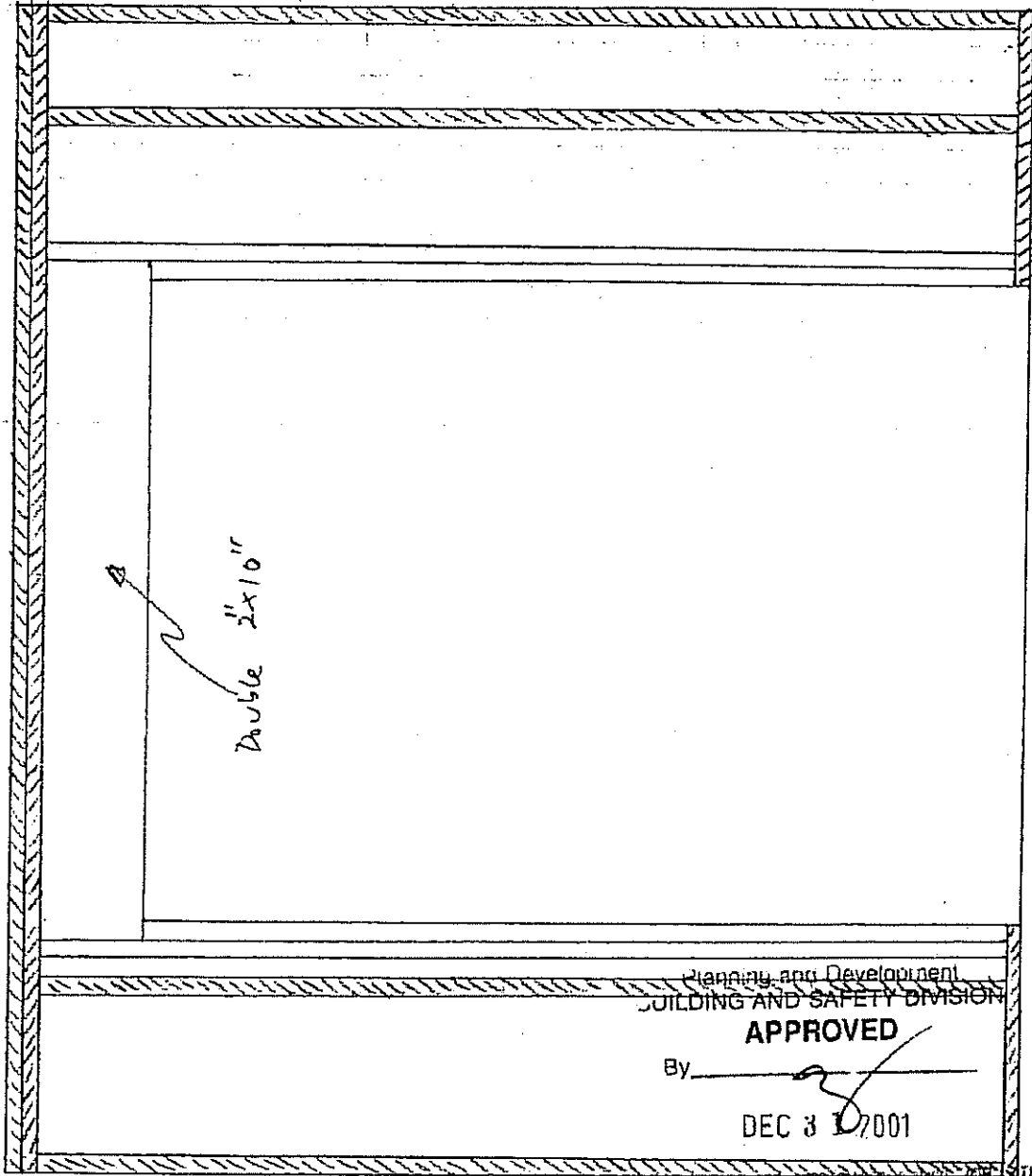
This set of plans and specifications marked JOB SITE
must be kept on the job at all times. It is unlawful to make any changes
or alterations on same without written permission from the City of
Berkeley, Building and Safety Division. The approval stamp on these
documents shall not be taken as permission or approval to violate any
ordinances, codes or laws of this jurisdiction or the State of California



Drawn By:

David M. Mills
1461 9th St
Berkeley CA 94710
510-527-6018

1. widen doorway



3/4" = 1'
Scale

Existing

Planning and Development
BUILDING AND SAFETY DIVISION

APPROVED

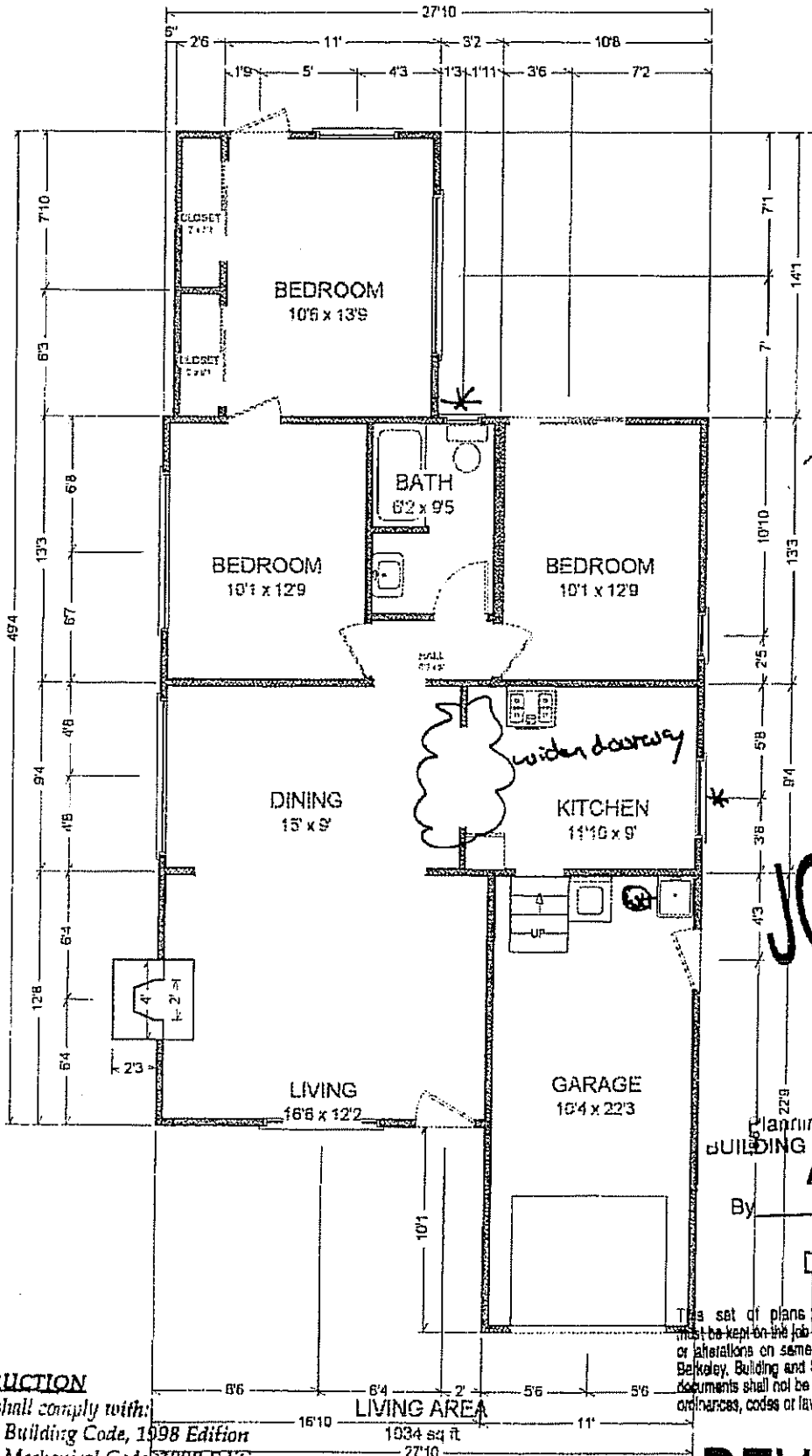
By _____

DEC 3 2001

This set of plans and specifications is intended for the site and must be kept on the job at all times. It is unlawful to make any changes or alterations on same without written permission from the City of Berkeley, Building and Safety Division. The approval stamp on these documents shall not be taken as permission or approval to violate any ordinances, codes or laws of this jurisdiction or the State of California.

REVISIONS

Drawn By:
 David Nichols
 1461 9th ST
 Berkeley CA 94710
 510-527-6018



See attached
 for
 electrical
 requirements

New windows
 same size
 same location

JOB SITE

Planning and Development
BUILDING AND SAFETY DIVISION
APPROVED

By [Signature]

DEC 31 2001

This set of plans and specifications marked **JOB SITE** must be kept on the job at all times. It is unlawful to make any changes or alterations on same without written permission from the City of Berkeley, Building and Safety Division. The approval stamp on these documents shall not be taken as permission or approval to violate any ordinances, codes or laws of this jurisdiction or the State of California.

REVISIONS

CONSTRUCTION

All work shall comply with:
 California Building Code, 1998 Edition
 California Mechanical Code, 1998 Edition
 California Plumbing Code, 1998 Edition
 California Electrical Code, 1998 Edition
 Title 24 Energy Regulations
 Title 24 Disabled Access Regulations
 and the Berkeley Municipal Code.

CORRECTION NOTICE
BUILDING AND SAFETY DIVISION

City of Berkeley
Planning Department
Building and Safety Division
2120 Milvia Street
Berkeley, CA 94704



Job Site: 1461 N. Mill St.

Owner: _____

PLEASE CORRECT THE FOLLOWING:

- 1) Install wire nuts on all the new wires
- 2) Gas test on new gas line Max 30# gauge pumped to 15#s.
- Complete handrail, TPR line to water heater, check against water bonding, label main panel.

[Signature]
INSPECTOR

4/5/00
DATE

See helpful information on the back of this notice.

Buyer _____ Date _____

Buyer _____ Date _____

Page 1 of 1

BAY AREA CABINET SUPPLY

3015 Teagarden Street
 San Leandro, California 94577
 510-483-8818 • fax 510-483-8819

NAME Aldrina Nichols DATE 12-12-01
 ADDRESS 1461 9th Street JOB# 120110
 CITY/ZIP Berkeley, CA 94710 PHONE 510.527.6018 / 510.367.6812
 DELIVER I WILL CALL I INSTALL APPROX. DATE Jan 14th ±
One day Notice
 MANUFACTURER Aristokraft STYLE Winstead COLOR Fawn
Select

Monday 9-1pm. 1/21ST

Buyer _____ Date _____

Buyer _____ Date _____

Page 1 of 5

BOWL _____
 DRILL _____

* Delivery is curbside and tailgate.

CAB TOTAL \$ 3615-
 MISC. TOTAL \$ _____
 SUB TOTAL \$ 3615-
 TAX \$ 289.20
 12-12 FREIGHT \$ _____
 P_{dot} TOTAL \$ 3904.20
 3199 DOWN \$ 3904.20
 BAL DUE \$ 0

* Cabinets ordered per approved floor plan and elevation.

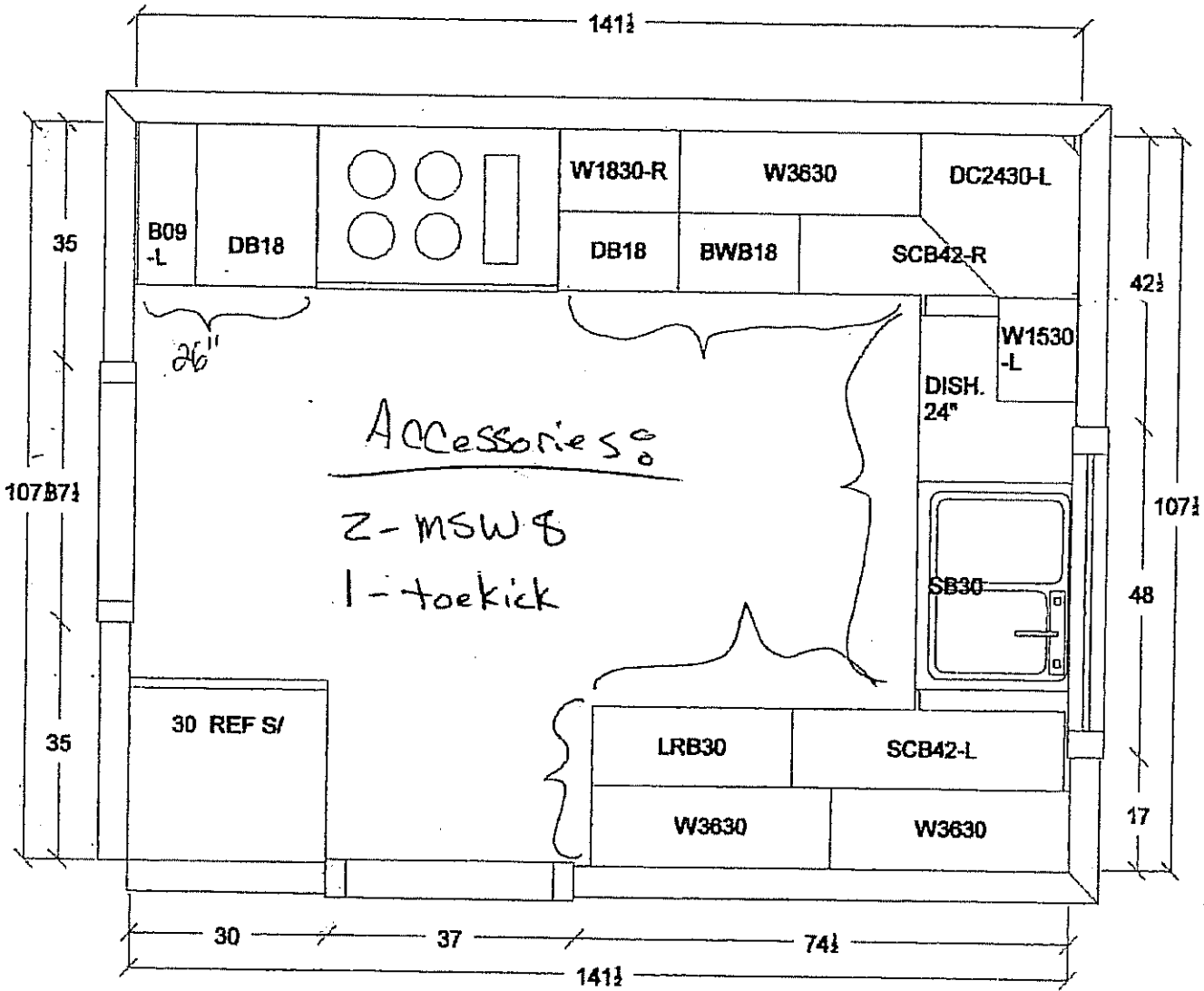
* Cabinet color, door style, and construction is as viewed in showroom.

* Tim double check measurements.

CUSTOMER UNDERSTANDS THAT VARIATION IS INHERENT IN ALL CULTURED MARBLE AND WOOD PRODUCTS THEREFORE WE CANNOT GUARANTEE AN EXACT MATCH TO SAMPLES. All sales are final

BAY AREA CABINETS [Signature]

CLIENT [Signature]

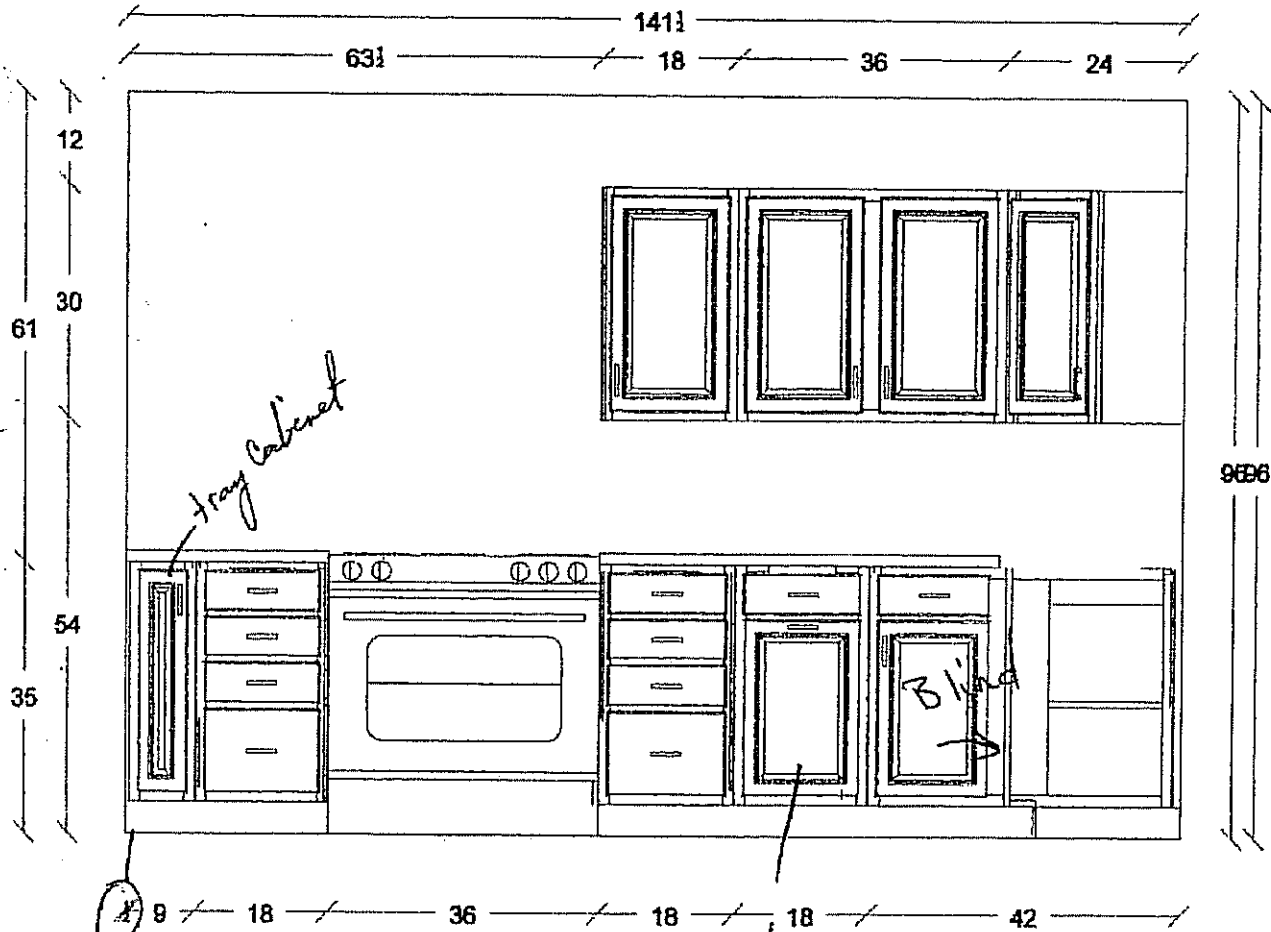


12-12-01

(X) *[Handwritten Signature]*

<p>All dimensions & size designations given are subject to verification on job site and adjustment to fit job conditions.</p>		<p>This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.</p>	<p>nichols2 ALDRINA NICHOLS 1481 9TH STREET BERKELEY, CA 94710</p>	<p>Scale : maximum Designer</p>	<p>Design : 120301 Date : 12/12/01</p>	<p>Dwg no.</p>
---	--	---	--	-------------------------------------	--	----------------

(17)



filler

Single waste basket

(X) *[Signature]*

12-12-01

All dimensions & size designations given are subject to verification on job site and adjustment to fit job conditions.

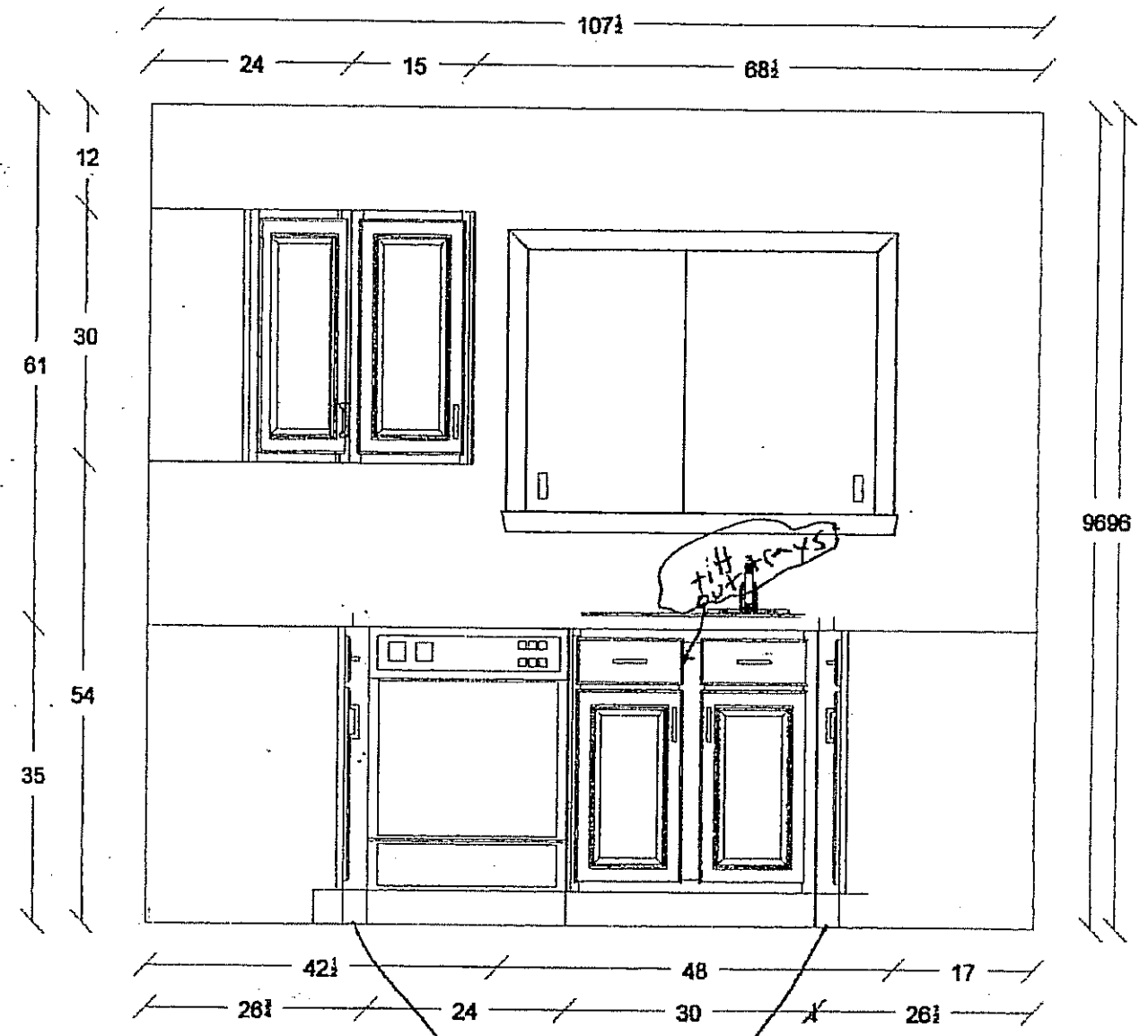
This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

nichols2
ALDRINNA NICHOLS
1481 9TH STREET
BERKELEY, CA 94710

Scale : maximum
Designer
Wall/C Line # 2

Dwg no.

5



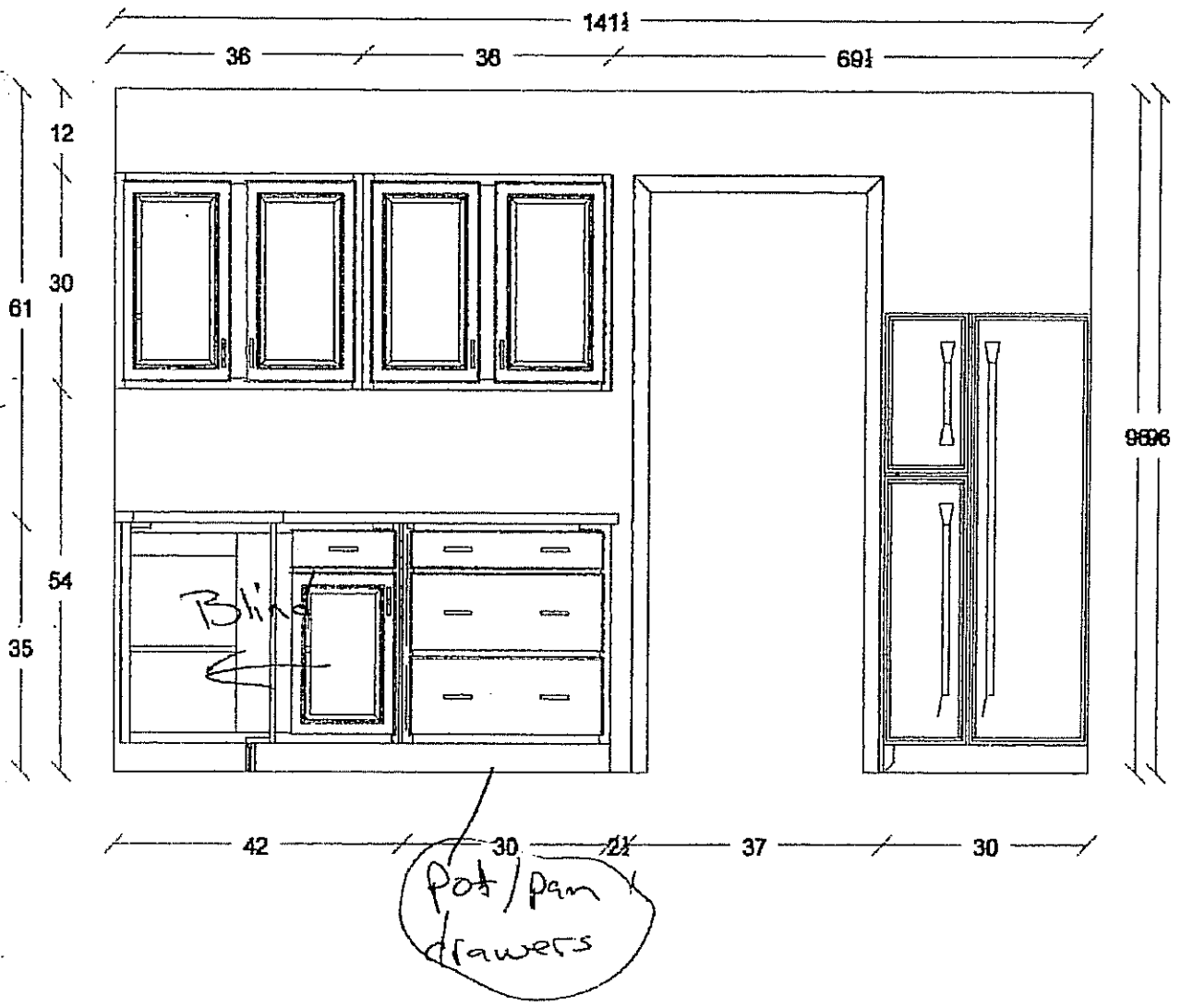
fillers

(X) *[Signature]*

12-12-01

All dimensions & size designations given are subject to verification on job site and adjustment to fit job conditions.	This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.	nichols2	Scale : maximum	Dwg no.
		ALDRINNA NICHOLS 1461 9TH STREET BERKELEY, CA 94710	Designer	
			Wall/C Line # 3	

12



(X) *[Signature]*

12-12-01

All dimensions & size designations given are subject to verification on job site and adjustment to fit job conditions.	This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.	nichols2	Scale: maximum	Dwg no.
		ALDRINNA NICHOLS 1481 9TH STREET BERKELEY, CA 94710	Designer	
			Wall/C Line # 4	

SPECIAL SERVICES CUSTOMER AGREEMENT

Store 1042 EXPO-OAKLAND
1556 40TH STREET
OAKLAND, CA 94606

Phone: (510) 450-3300
Salesperson: DGF29
Reviewer:

VALIDATION AREA

This is only a **QUOTE** for the merchandise and services printed below. This becomes an Agreement upon payment and an endorsement by a Home Depot register validation.

SOLD TO Name: **NICHOLS** Home Phone: (510) 527-6018
Address: 1461 9TH STREET Work Phone: ()
City: BERKELEY Company Name:
State: CA Zip: 94710 Job Description: PLUMBING FIXTURES FOR KITCHEN
County: ALAMEDA

SALE 1042 00005 02195 12/02/00
32 280 02:15 P
CUSTOMER AGREEMENT # 1141
6316.00 RECALL AMOUNT 6396.00
TAX 505.28
TOTAL \$6901.28
XXXXXX7756 HOME DEPOT
AUTH #7INVOICE 005882/1050136 TA

QUOTE is valid for this date: 12/02/2001

MERCHANDISE AND SERVICE SUMMARY

TO: DC

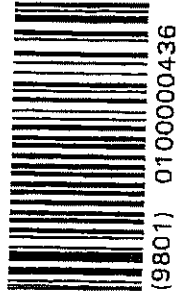
VENDOR DIRECT SHIP #1

We reserve the right to limit the quantities of merchandise sold to customers.

REF #	SKU	QTY	UM	S/D	MERCHANDISE TO BE SHIPPED:	REF #S04	ESTIMATED ARRIVAL DATE:	12/16/2001	TAX	PRICE EACH	EXTENSION
S0401	735-567	1.00	EA	D1876SS	/D1876SS:DISHWASHER COLOR = STAINLESS				Y	\$1,066.00	\$1,066.00
S/D1876SS:DISHWASHER COLOR = STAINLESS STEEL 24" STAINLESS STEEL DISHWASHER WITH ADJUSTABLE RACKS											
S/D - MERCHANDISE TO BE SHIPPED: S/D GENE SCHICK COMPANY REF #S05 ESTIMATED ARRIVAL DATE: 01/27/2002											
S0501	735-485	1.00	EA	VGIC365-6B-SS	/VGIC365-6B-SS:RANGES COLOR = STAINLESS/VGIC365-6B-SS:RAN				Y	\$3,639.00	\$3,639.00
GES COLOR = STAINLESS STEEL 36" GAS 6 BURNERS AND SINGLE CONVECTION BAKE/BROIL OVEN											
S0502	776-287	1.00	EA	VWH3648-SS	/VWH3648-SS:RANGE HOOD COLOR = STAINLES/VWH3648-SS:RANGE				Y	\$959.00	\$959.00
HOOD COLOR = STAINLESS STEEL 38" STAINLESS STEEL RANGE HOOD											
S0503	776-273	1.00	EA	VIV600	/VIV600:RANGE HOOD BLOWERS TYPE = INTER/VIV600:RANGE HOOD				Y	\$329.00	\$329.00
BLOWERS TYPE = INTERIOR BLOWER, 600 CFM											

- SPECIAL ORDERS -
ARE SUBJECT TO A
15%
RESTOCKING CHARGE

*** CONTINUED ON NEXT PAGE ***



VENDOR DIRECT SHIP #1
(Continued)

TO: DC

S/O - MERCHANDISE TO BE SHIPPED:		S/O GENE SCHICK COMPANY		REF #/S05	ESTIMATED ARRIVAL DATE: 01/27/2002	
REF #	SKU	QTY	UM	DESCRIPTION	TAX PRICE EACH	EXTENSION
S0504	789-859	1.00	EA	T36BG6 /T36BG6:APPLIANCE BACKGUARD APPLICATI/T36BG6:APPLIANCE BACKGUARD APPLICATION = COOKING 6" H. BACKGUARD	Y	\$189.00
S0505	726-793	1.00	EA	DCW36 /DCW36-36" STAINLESS STEEL DUCT COVER/DCW36- 36" STAINLESS STEEL DUCT COVER FOR A VWH3648 RANGE HOOD.	Y	\$134.00*

AA EXPO IN CALIFORNIA-DC WILL SHIP MOOSE TO: NICHOLS, GREG

ADDRESS: 1384 CEDAR ST CITY: BERKELEY

STATE: CA COUNTY: ALAMEDA SALES TAX RATE: 8.00

PHONE: (510) 527-6018

MERCHANDISE TOTAL: \$6,316.00

INSTALLATION #1

REF #106

MERCHANDISE TO BE INSTALLED:		REF #106		END OF VENDOR DIRECT SHIP
REF #	SKU	QTY	UM	DESCRIPTION
S0501	735-485	1.00	EA	VGIC365-6B-SS:RANGES COLOR = STAINLESS
S0502	776-287	1.00	EA	VWH3648-SS:RANGE HOOD COLOR = STAINLES
S0503	776-273	1.00	EA	VIV600:RANGE HOOD BLOWERS TYPE = INTER
S0504	789-859	1.00	EA	T36BG6:APPLIANCE BACKGUARD APPLICATI
S0505	726-793	1.00	EA	DCW36-36" STAINLESS STEEL DUCT COVER

INSTALLER SPECIAL INSTRUCTIONS: CROSS STREET JONES ST. PLEASE CALL BEFORE COMING

SHOULD BE SIMPLE TO FIND HOUSE

BASIC INSTALLATION LABOR:

SKU	DESCRIPTION	QTY	UM	TAX PRICE EACH	EXTENSION
308-083	I/S APPLIANCE DELIVERY /	1.00	EA	\$80.00	\$80.00
INSTALLATION SITE NAME: NICHOLS, GREG					
ADDRESS: 1461 9TH ST					
CITY: BERKELEY					
STATE: CA ZIP: 94710-					
COUNTY: ALAMEDA					
PHONE: (510) 527-6018					
SALES TAX RATE: 8.00 TAX: Merchandise - Y LABOR - N					
TRIP CHARGE:					
CREDIT FOR DEPOSIT/MEASURE:					
INSTALL TOTAL DUE:		\$80.00			

*** CONTINUED ON NEXT PAGE ***

INSTALLATION #1
(Continued)

REF #106

BASIC INSTALLATION LABOR INCLUDES:

- ...This is a delivery program only.
- ...Refer to separate sku for installation program.
- ...Delivery of up to five appliances (same trip, same location). Non-commercial appliances only.
- Washer, Dryer, Free Standing Range, Free Standing Refrigerator, Dishwasher, Wall Oven and Cook Top.
- ...Basic charge is for ground floor or 2nd floor delivery only. See option for 3rd floor delivery or higher.
- ...Obtain signature of delivery from the customer.
- ...Travel within 30 mile radius from store location.

UNLESS STATED ABOVE THIS INSTALLATION DOES NOT INCLUDE:

- ...Gas appliance hook-up
- ...The customer or adult representative must be present while our agents are working in the customer's home.
- ...No work will be done on weekends or legal holidays.
- ...The installer will contact the customer within 2 working days of receiving the delivery PO.
- ...This is a delivery only program. Installation is available under a separate program for an additional cost.

SPECIAL NOTES:

TOTAL CHARGES OF ALL MERCHANDISE & SERVICES

END OF INSTALL #1

ORDER TOTAL	\$6,396.00
SALES TAX	\$505.28
TOTAL	\$6,901.28
BALANCE DUE	\$6,901.28

END OF ORDER No. 1141

INSTALLATION

Authorization. "You" means the customer set forth on this Special Services Customer Agreement and any attached documents (collectively, the "Agreement"). You authorize The Home Depot to inspect the installation; and 3) to pay the balance due, if any, to the installer when the installation is complete, from monies paid by you to The Home Depot.

Installation Information. You acknowledge that The Home Depot will not install the materials listed in this Agreement, but will arrange for the installation to be performed by the Installer. The installation is limited to the description of work in this Agreement. It does not include any changes to your electrical, gas or plumbing systems unless specifically noted. You understand that the installation beginning and completion dates in this Agreement are approximate dates and are subject to change for any reason. The Home Depot and the Installer are not responsible for any delays in installation caused by unavailability of materials, manufacturer's delay, delivery of damaged or incorrect merchandise from third parties, the funding of any home improvement loans, changes or alterations in the work requested by you or required by applicable law, or resulting from incorrect information or measurements supplied by you, your failure to do those things required of you under this Agreement, your acts of negligence, acts of God, weather, fire, strikes, war, governmental regulations or any causes beyond the control of The Home Depot or the Installer.

TERMS AND CONDITIONS

TERMS AND CONDITIONS (Continued)

Responsibility of Installer. The Installer will complete the installation in a workmanlike manner and in accordance with all applicable codes and ordinances. However, the Installer is under no obligation to complete the installation if it cannot be completed in accordance with applicable codes or ordinances. The Installer may, at your request, perform additional work to comply with applicable codes and ordinances, subject to the approval of The Home Depot and the Installer at an additional fee. You agree that any injuries or damages caused directly or indirectly by the Installer are the sole responsibility of the Installer.

Access to Work. You agree to grant free access of work areas to the installer, his agents and employees and any necessary vehicles during normal work hours. In accordance with applicable laws, you agree to make drinking water and toilet facilities available to all agents and employees of the Installer or to compensate the Installer for the cost of rented units. **Mechanic's or Materialmen's Liens.** The Home Depot, the Installer or any laborer may have a claim against you for failure to pay for materials supplied or services performed and may enforce this claim by filing a lien against your property after providing you with notice.

Changes. You agree that any changes, additions or alterations in the installation may require an additional fee and must be approved by The Home Depot and the Installer in writing. If not approved, you may request a refund of any payments made under this Agreement except for payments for materials and installation already performed.

Warranty. In addition to any manufacturer's warranty on the materials purchased from The Home Depot, the Installer provides a one year warranty on the Installation.

Costs and Expenses. If The Home Depot incurs any costs or expenses to enforce any of its rights under this Agreement or to collect any amounts due, you agree to pay The Home Depot for all such costs and expenses, including reasonable attorney's fees.

Taxes. The sales and use tax rate charged herein is based on information you provided to The Home Depot. Should such representation change, you shall reimburse The Home Depot for any additional taxes due to the appropriate government authority.

Various State License Numbers: California License #602331; Florida License #CFC044215, EC0000109, CBC040840; New York City License #896520 (contractor) and #889845 (salesman's), Nassau County, N.Y. License #H-1771050000 and Suffolk County, N.Y. License #31818-HI; No. Carolina License #31521; So. Carolina License #008151; Arizona License #092581; Oregon License # 93843.

NOTICE TO CALIFORNIA RESIDENTS: If the installation will be performed in the State of California, you should be aware that, although the failure to substantially commence work within twenty (20) days from the beginning installation date specified in this Agreement, without lawful excuse, is a violation of the Contractor's License Law in the State of California, The Home Depot and the Installer will not be responsible for any delays caused by the above-described circumstances or any cause beyond their control. Substantial commencement of the installation shall mean either the physical delivery of materials onto the premises or the performance of any labor.

To preserve their right to file a claim or lien against your property, certain claimants such as subcontractors or material suppliers are required to provide you with a document entitled "Preliminary Notice". Original (or prime) contractors and laborers for wages do not have to provide this notice. A Preliminary Notice is not a lien against your property. Its purpose is to notify you of persons who may have a right to file a lien against your property if they are not paid. (Generally, the maximum time allowed for filing a claim or lien against your property is ninety (90) days after completion of your project.)

TO INSURE EXTRA PROTECTION FOR YOURSELF AND YOUR PROPERTY, YOU MAY WISH TO TAKE ONE OR MORE OF THE FOLLOWING STEPS:

Require that your contractor supply you with a payment and performance bond (not a license bond), which provides that the bonding company will either complete the project or pay damages up to the amount of the bond. This payment and performance bond and a copy of the construction contract should be filed with the county recorder for further protection.

Require that payments be made directly to subcontractors and material suppliers through a joint control Agreement. Any joint control Agreement should include the addendum approved by the Registrar of Contractors.

Issue joint checks for payment, made out to both your contractor and subcontractors or material suppliers involved in the project. This will help to insure that all persons due payment are actually paid.

After making payment on any completed phase of the project, and before making any further payments, require your contractor to provide you with unconditional lien releases signed by each material supplier, subcontractor and laborer involved in that portion of the work for which payment was made. On projects involving improvements to a single family residence or a duplex owned by individuals, the persons signing these releases lose the right to file a claim against your property. In other types of construction this protection may still be important, but may not be as complete. **TO PROTECT YOURSELF UNDER THIS OPTION YOU MUST BE CERTAIN THAT ALL MATERIAL SUPPLIERS, SUBCONTRACTORS AND LABORERS HAVE SIGNED.**

THE HOME DEPOT HAS FILED A PAYMENT AND PERFORMANCE BOND WITH THE REGISTRAR OF CONTRACTORS. THE SURETY IS AMERICAN HOME ASSURANCE COMPANY, 70 PINE STREET, NEW YORK, NY 10270.

NOTICE TO CONNECTICUT AND NEW YORK RESIDENTS AND CUSTOMERS IN ALL STATES WHERE THE TRANSACTION IS MADE OUTSIDE OF THE STORE: You, the buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. See the attached notice of cancellation form for an explanation of this right.

SPECIAL SERVICES CUSTOMER AGREEMENT

Store 1042 EXPO-OAKLAND
1555 40TH STREET
OAKLAND, CA 94606

Phone: (510) 450-3300
Salesperson: DGF
Reviewer:

3/4 x 1/2 bushing
brass

Page 1 of 3 No. 1412

VALIDATION AREA

This is only a **QUOTE** for the merchandise and services printed below. This becomes an Agreement upon payment and an endorsement by a Home Depot register validation.

SALE 1042 00005 02203 12/02/00 02:16 P
32 280
CUSTOMER AGREEMENT # 1412
RECALL AMOUNT 3100.15
TAX 248.02
TOTAL \$3348.17
XXXXXX7756 HOME DEPOT
AUTH #/INVOICE 00988871050137 TA

SOLD TO

Name: **NICHOLS GREG** Home Phone: (510) 527-6018
Address: 1461 9TH STREET Work Phone: () -
City: BERKELEY Company Name:
State: CA Zip: 94710 County: ALAMEDA
Job Description: KOHLER, ELKAY, BLANCO, GS

QUOTE is valid for this date: 12/02/2001

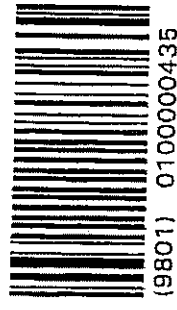
MERCHANDISE AND SERVICE SUMMARY

We reserve the right to limit the quantities of merchandise sold to customers.

REF #	SKU	QTY	UM	DESCRIPTION	TAX	PRICE EACH	EXTENSION
S0101	221-359	1.00	EA	VICTORIAN WALL SUPPLY ELBOW CHROME /VICTORIAN WALL SUPPLY ELBOW IN CHROME 1/2" FEMALE	Y	\$28.50	\$28.50
S0102	221-359	1.00	EA	VICTORIAN HAND SHW COMPLETE SYSTM CH/VICTORIAN HAND SHOWER COMPLETE SYSTEM IN CHROME SLIDING BAR METAL HOSE 1 SPRAY FCTION HANDSHOWER	Y	\$241.25	\$241.25
S0103	221-359	1.00	EA	VICTORIAN 1/2 MIXTER CHROME /VICTORIAN 1/2" MIXER IN CHROME	Y	\$427.50	\$427.50
S0104	221-359	1.00	EA	1/2" VOLUMN CONTROL IN CHROME /1/2" VOLUMN CONTROL IN CHROME.	Y	\$57.75	\$57.75
S0105	221-359	1.00	EA	VICTORIAN TUB SPOUT WLL MTD 5" 1/2" VICTORIAN TUB SPOUT WALL MOUNTED 5" IN CHROME 5" 1/2" FEMALE CONNECTION	Y	\$54.00	\$54.00

- SPECIAL ORDERS -
ARE SUBJECT TO A
15%
RESTOCKING CHARGE

*** CONTINUED ON NEXT PAGE ***



* Indicates item markdown
Customer Copy

CUSTOMER PICKUP #1
(Continued)

REF #W05 SKU #515-664 Customer Pickup / Will Call

S.D. MERCHANDISE TO BE PICKED UP:		SIO G.S. NORTH AMERICA REF #S01		ESTIMATED ARRIVAL DATE: 12/23/2001	
REF #	SKU	QTY	UM	DESCRIPTION	TAX PRICE EACH EXTENSION
S0106	221-359	1.00	EA	11350 /VICTORIAN LAV FAUCET HIGH SPT CHROME/VICTORIAN LAVATORY FAUCET IN CHROME HIGHT SPOUT 1/4" TURN	Y \$213.75 \$213.75

S.D. MERCHANDISE TO BE PICKED UP:		SIO BLANCO AMERICA INC REF #S02		ESTIMATED ARRIVAL DATE: 12/16/2001	
S0201	182-386	1.00	EA	510873R /BLANCO DOM DES STAIN NEED ADDT HOLES/BLANCO DOMESTIC DESIGNS STAINLESS STEEL NEEDS 3 ADDITIONAL HOLES - TOTAL OF 4 HOLES KNOCKOUT HOLES FOR A,B,C	Y \$588.30 \$588.30
S0202	182-386	3.00	EA	510872R /KNOCKOUT HLE FOR SNK 510872R ABC /KNOCKOUT HOLES FOR SINK 510872R ABC CONFIGURATION TOTAL OF 4 HOLES.	Y \$7.40 \$22.20

S.D. MERCHANDISE TO BE PICKED UP:		SIO MOEN INC REF #S04		ESTIMATED ARRIVAL DATE: 12/16/2001	
S0401	488-992	1.00	EA	V7730 /MOEN MONTICELLO CATH SPT CHROME /MOEN MONTICELLO CATHEDRAL SPOUT IN CHROME SOLID HANDLE WITH 1" SPOUT	Y \$199.95 \$199.95

SCHEDULED PICKUP DATE: Will be scheduled upon arrival of all SIO Merchandise

TO: CUSTOMER

END OF CUSTOMER PICKUP REF #W05 \$1,833.20

VENDOR DIRECT SHIP #1

SIO - MERCHANDISE TO BE SHIPPED:		SIO YOUR OTHER WAREHOUSE REF #S03		ESTIMATED ARRIVAL DATE: 12/09/2001	
REF #	SKU	QTY	UM	DESCRIPTION	TAX PRICE EACH EXTENSION
S0301	110-922	1.00	EA	K721 ✓ /KOHLER MEMOIRS 5' BATH WHITE LFT OUTL/KOHLER MEMOIRS BATH IN WHITE 5' LEFT OUTLET	Y \$644.18 \$644.18
S0302	110-922	1.00	EA	K22588 ✓ /KOHLER MEMOIRS PED LAV IN WHITE /KOHLER MEMOIRS PEDESTAL SINK LAVATORY IN WHITE 27"	Y \$391.39 \$391.39
S0303	110-922	1.00	EA	K3452 /KOHLER MEMOIRS TOILET IN WHITE /KOHLER MEMOIRS TOILET IN WHITE ROUND	Y \$231.38 \$231.38

VENDOR WILL SHIP MOSE TO: NICHOLS, GREG

ADDRESS: 1384 CEDAR ST

STATE: CA COUNTY: ALAMEDA CITY: BERKELEY

PHONE: (510) 527-6018 ZIP: 94702- SALES TAX RATE: 8.00

END OF VENDOR DIRECT SHIP

MERCHANDISE TOTAL: \$1,266.95

TOTAL CHARGES OF ALL MERCHANDISE & SERVICES

ORDER TOTAL	\$3,100.15
SALES TAX	\$248.02
TOTAL	\$3,348.17
BALANCE DUE	\$3,348.17

END OF ORDER No. 1412

TERMS AND CONDITIONS

WILL CALL

Will Call items will be held in the store for 7 days only. Bring this Agreement to the Service Desk (EXPO- Will-Call Pick Up Door).

Buyer _____ Date _____

Buyer _____ Date _____

Page 1 of 1



PROPOSAL

HARRY CLARK PLUMBING & HEATING INC.

3026 BROADWAY OAKLAND, CA 94611

TELEPHONE: 510-444-1776

FAX: 510-444-1960

STATE LIC # 792463



Heating & Cooling Systems
Since 1904

Page 1 of 2

PROPOSAL SUBMITTED TO <u>Aldrinna Nichols</u>	PHONE	DATE <u>11/29/01</u>
STREET <u>1405 7th St # E</u>	JOB NAME	
CITY, STATE AND ZIP CODE <u>Berkeley CA, 94710</u>	JOB LOCATION <u>1401 9th St</u>	
ATTENTION <u>527-6018</u>	<u>Berkeley CA</u>	JOB PHONE

No two homes or families are alike. Our proposal to you is based on an accurate analysis of your particular needs and requirements. It takes into account the structural features of your home and the lifestyle of your family. With this in mind, Harry Clark Plumbing and Heating Company recommends the following system:

1. HEATING AND/OR COOLING EQUIPMENT:

MODEL NUMBER	DESCRIPTION	SIZE/TYPE
<u>(1) Bryant 376CAV024070</u>	<u>Plus 80 Furnace</u>	<u>81% AFUE</u>
<u>(1) Honeywell T8112D</u>	<u>Programm Thermostat</u>	
<u>Install horizontal central heating system in attic. Includes return inlet, outlets, gas, electric, flue, catwalk, pad, all materials and labor for complete system.</u>		
<u>(one stage)</u>		

2. OUR PROPOSAL INCLUDES:

- Delivery Uncrating
- Removal of Existing Equip.
- Plenum Chambers
- New Ductwork
- Modified Duct Work
- Return Air Ducting
- Manual Volume Dampers
- Duct Insulation
- Supply Registers
- Return Grilles
- Electric Disconnect
- Gas Piping
- Type B-1 Gas Vent
- Line Voltage Wiring
- Low Voltage Wiring
- Standard Thermostat
- Hole Cutting
- Precast Equipment Pads
- Condensate Removal
- Access Light & Switch

~~duct volume isolates~~
 number of vents: living, dining, kitchen, 3 bedroom, bathroom

Also includes all other materials and labor for a complete installation except:

Ceiling repair, touch up, painting or Permit Fees

3. PAYMENT SCHEDULE:

<u>Total due on completion</u>	Date	Date
TOTAL PRICE <u>4,789⁰¹</u>		
PRICE PROTECTED FOR 30 DAYS		
<u>[Signature]</u> (CONTRACTOR)	<u>[Signature]</u> (OWNER OR AUTHORIZED AGENT)	
Date: _____	Date: <u>12/6/01</u>	

WARRANTY: After installation, our qualified personnel will start, test and provide instruction on the use of the equipment. All equipment installed is covered by the appropriate Manufacturers Standard Product Warranty and is subject to its warranty conditions. All workmanship, labor, and incidental materials are covered for a period of one year from the date of completion.



PLUMBING • HEATING • COOLING CONTRACTORS ASSOCIATION

Page 1 of 2

4. OPTIONAL EQUIPMENT:

MODEL NUMBER	DESCRIPTION	SIZE/TYPE
Bryant 350MAV036060	Plus 90 Furnace	92% AFUE
Higher efficient, Quiet, Energy Star Rated, better warranty		
(one stage)		

TOTAL PRICE ^{Actual} 550⁰⁰

(OWNER OR AUTHORIZED AGENT)

Date: _____

5. OPTIONAL EQUIPMENT:

MODEL NUMBER	DESCRIPTION	SIZE/TYPE
(1) Bryant 355MAV042060	Plus 90 Variable Speed	96% AFUE
Highest efficient, Quietest model, Energy Star Rated, Least Electric Use, Best warranty		
(two stage)		

TOTAL PRICE 1295⁰⁰

(OWNER OR AUTHORIZED AGENT)

Date: _____

7

6. OPTIONAL EQUIPMENT:

MODEL NUMBER	DESCRIPTION	SIZE/TYPE
Honeywell F-100	High Density Media Filter	250 ⁰⁰
Honeywell F-300	Electronic Air Cleaner	650 ⁰⁰

TOTAL PRICE 6,334

(OWNER OR AUTHORIZED AGENT)

Date: 12/6/01

BASE	4,789
#5	1,295
F-100	250
TOTAL	6,334